

14 BAY ST, DOUBLE BAY
COMMERCIAL + MULTI-RESIDENTIAL DEVELOPMENT

NO.	DRAWING NAME	SCALE	
DA 1.00	Cover Page + Drawing List	NTS	G
DA 1.01	Context Analysis	1:4000	F
DA 1.02	Context Analysis - Built Form	NTS	F
DA 1.03	Site Analysis	1:500	F
DA 1.04	Existing Buildings + Controls	1:200	F
DA 1.05	Context - Recent Approvals	1:500	F
DA 1.06	Context - Part Wall Conditions	NA	F
DA 1.07	Context - HOB Comparison	1:500	F
DA 1.08	Context - Unit 4.1 Terrace	1:200	F
DA 1.10	FSR Calculations	1:200	F
DA 2.00	Plan - Ground + Level 1	1:100	F
DA 2.01	Plan - Level 2 + 3	1:100	F
DA 2.02	Plan - Level 4 + Roof	1:100	G
DA 2.03	Plan - F Superseded with DA2.02	1:100	
DA 3.00	Elevations - Street	1:200	G
DA 3.01	Elevations - East + West	1:100	G
DA 3.02	Elevations - North	1:100	G
DA 3.03	Elevation - South	1:100	G
DA 3.04	Section A	1:100	G
DA 3.05	Section B	1:100	F
DA 3.06	Section A - Extended	1:100	G
DA 3.07	Elevations - Comparison Page	1:100	F
DA 4.00	Facade details + Materiality	1:50	G
DA 4.01	Photomontage	NTS	G
DA 5.00	S Superseded with DA5.02 to DA5.04 21	1:500	
DA 5.01	Solar Access - Proposed Equinox	1:500	G
DA 5.02	Hourly June 21 Shadows (Sheet 1)	1:500	G
DA 5.03	Hourly June 21 Shadows (Sheet 2)	1:500	G
DA 5.04	Hourly June 21 Shadows (Sheet 3)	1:500	G
DA 6.00	View Analysis 1 - Unit 4.1 Terrace East	NTS	G
DA 6.01	View Analysis 2 - Unit 4.1 Terrace East	NTS	G

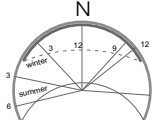


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REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
F	19/4/22	Joint Report
G	28/4/22	Revised terrace to Bay Street



PROJECT
Bay Street
14 Bay St, Double Bay

CLIENT
Halepa Holdings

DRAWING TITLE			
Cover Page + Drawing List			
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:2000	DA 1.00
DATE	CHECKED	PLOT DATE	REVISION
Sept 2020	PT	28/4/22	G

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The site at 14 Bay Street is located in the important regional centre of Double Bay. Within a 5/10 minute / 400/800 metres are Edgecliff train station and bus interchange, the main Double Bay shopping areas, Edgecliff commercial centre and Double Bay Wharf. These centres contain many services for the benefit of residents and workers. Since the village of Double Bay was established in the 1830's, the area's urban development continues to evolve as a heterogeneous mix of major retail and entertainment, mixed use buildings of all types and sizes, with a range of apartment buildings and some remnant individual houses fringing the centre.

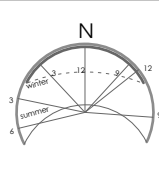
The site has easy access to Sydney's city centre, to multiple transport modes, shops, many public facilities and open spaces, and thus is well suited to this proposal as it provides high levels of amenity in an established and diverse neighbourhood.

taken from the **Design Quality Statement**

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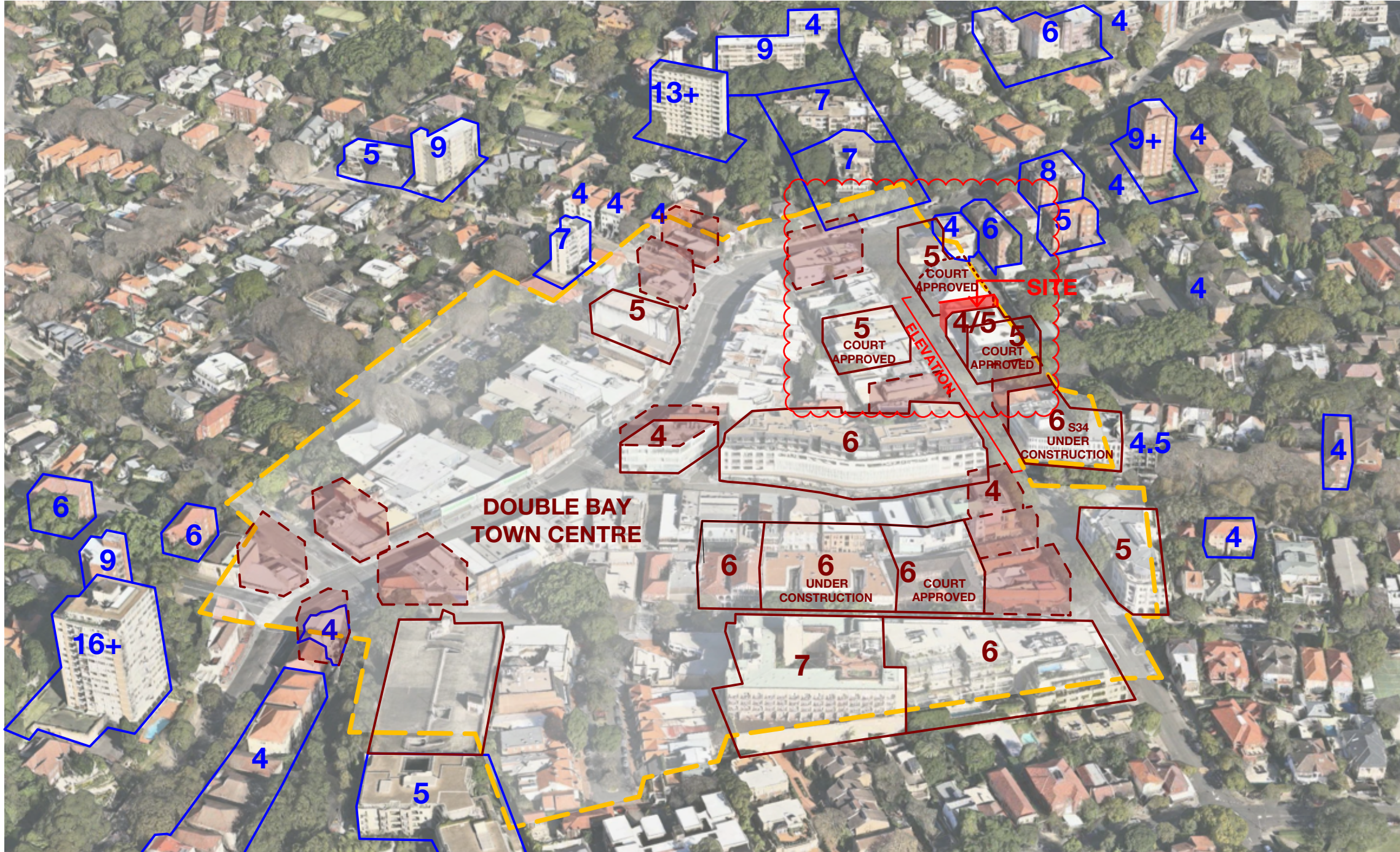
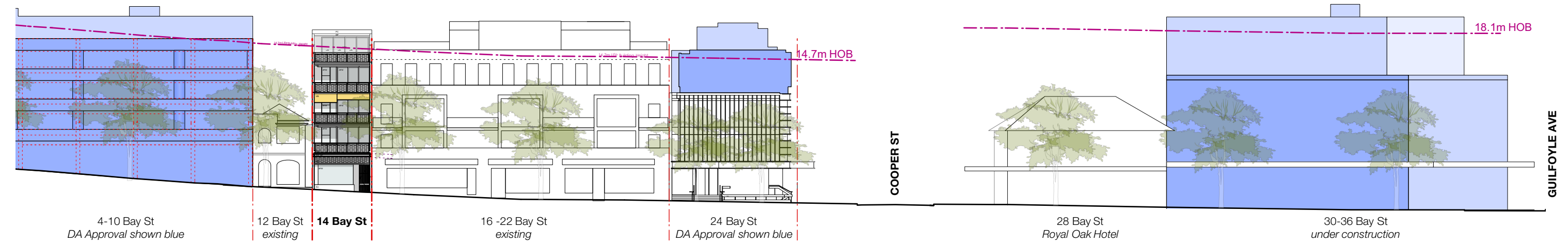


REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
F	19/4/22	Joint Report



PROJECT Bay Street 14 Bay St, Double Bay
CLIENT Halepa Holdings

DRAWING TITLE			
Context Analysis			
JOB NO 19.53	DRAWN MR	SCALE 1:4000@A3	DRAWING NO. DA 1.01
DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION F



The site sits within the Double Bay Town Centre boundary at the southern end of Bay St.

Double Bay has seen a number of new developments and planning changes since the Double Bay Centre DCP was adopted by Council in 2004 (Hill Thalys were Council's consultant, starting work on the revised planning controls in 1998). This DCP has now largely been incorporated into the 2015 Woollahra DCP, with some increases in height and FSR.

A number of new buildings have been built to the 4 and 5 storey heights stipulated in the DCP, however a group of 6 storey buildings is nearing completion along Cross Street. Nearby 5 and 6 storey buildings are already approved along Bay Street. Bay St South has a number of recently approved 5 storey proposals as sites become amalgamated. Height and FSR of recently approved proposal are analysed in the following drawings.

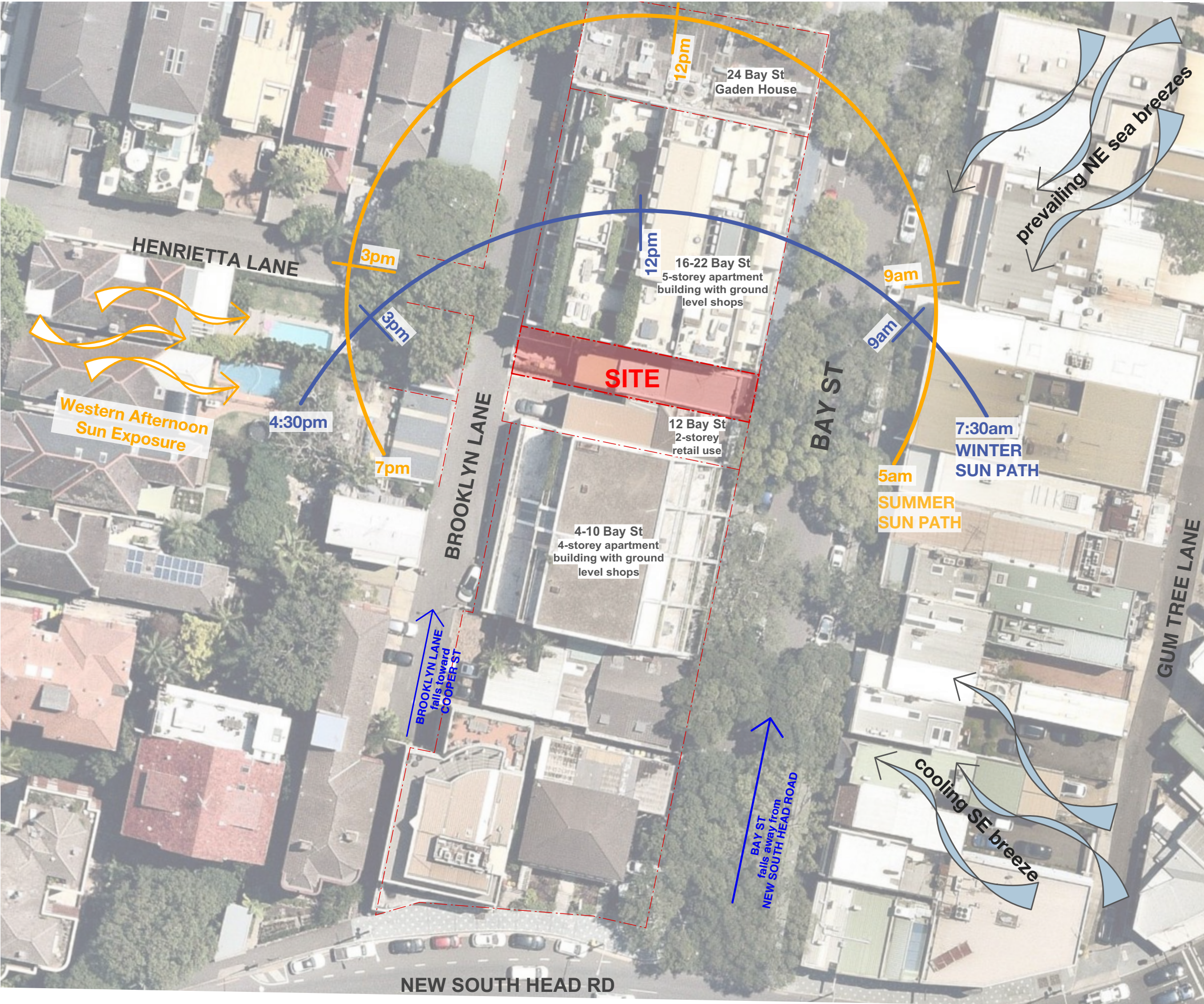
Heights noted on the adjacent perspective are in storeys. Based on available information.

Built form in storeys within the town centre

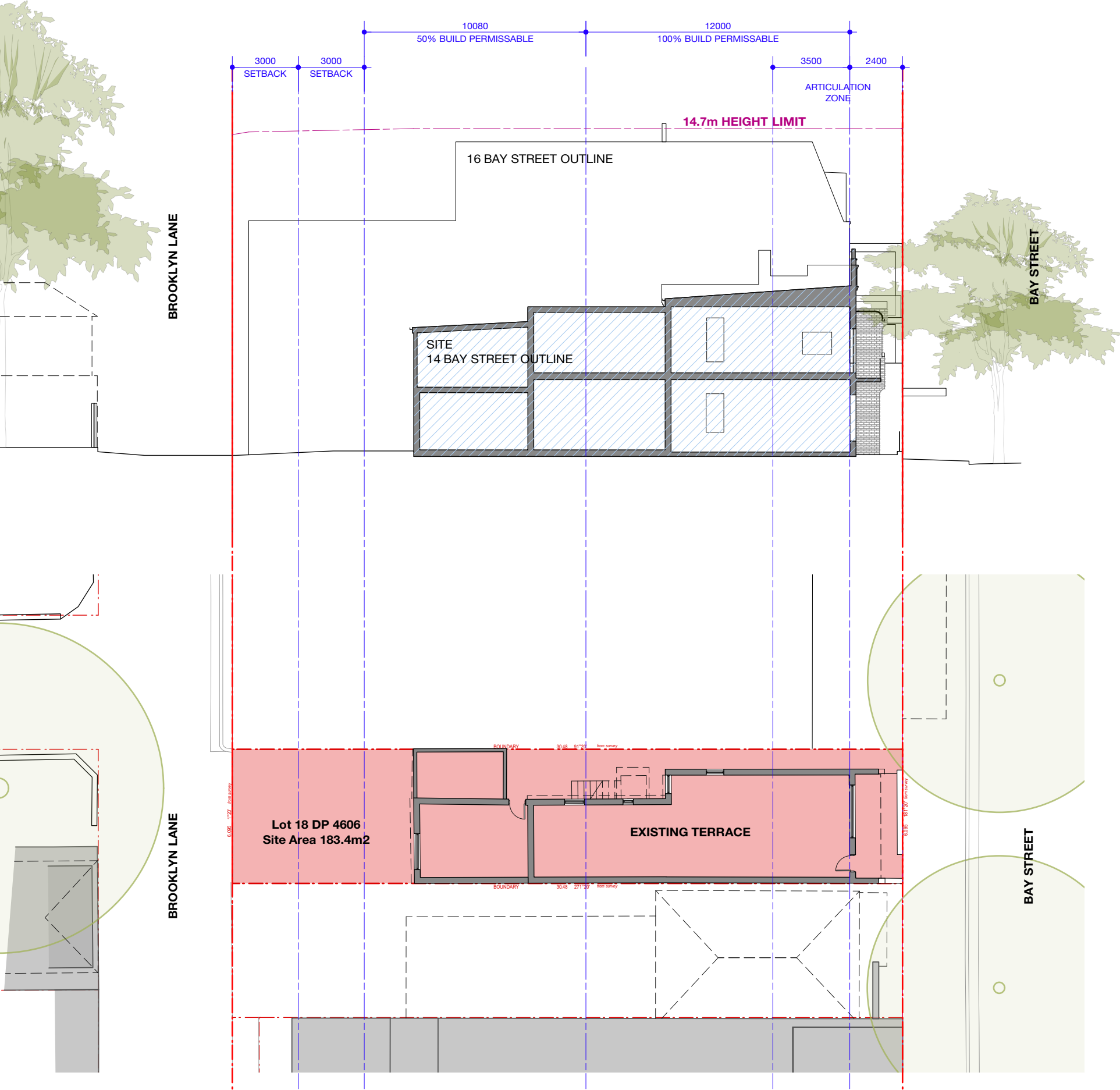
Built form in storeys outside of the town centre

Identified prominent corner buildings with bonus FSR

outline of original DA submission



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Bay St
Existing Elevation



Brooklyn Lane
Existing Elevation



ARCHITECTS:
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ARCHITECTURE + URBAN PROJECTS PTY LTD
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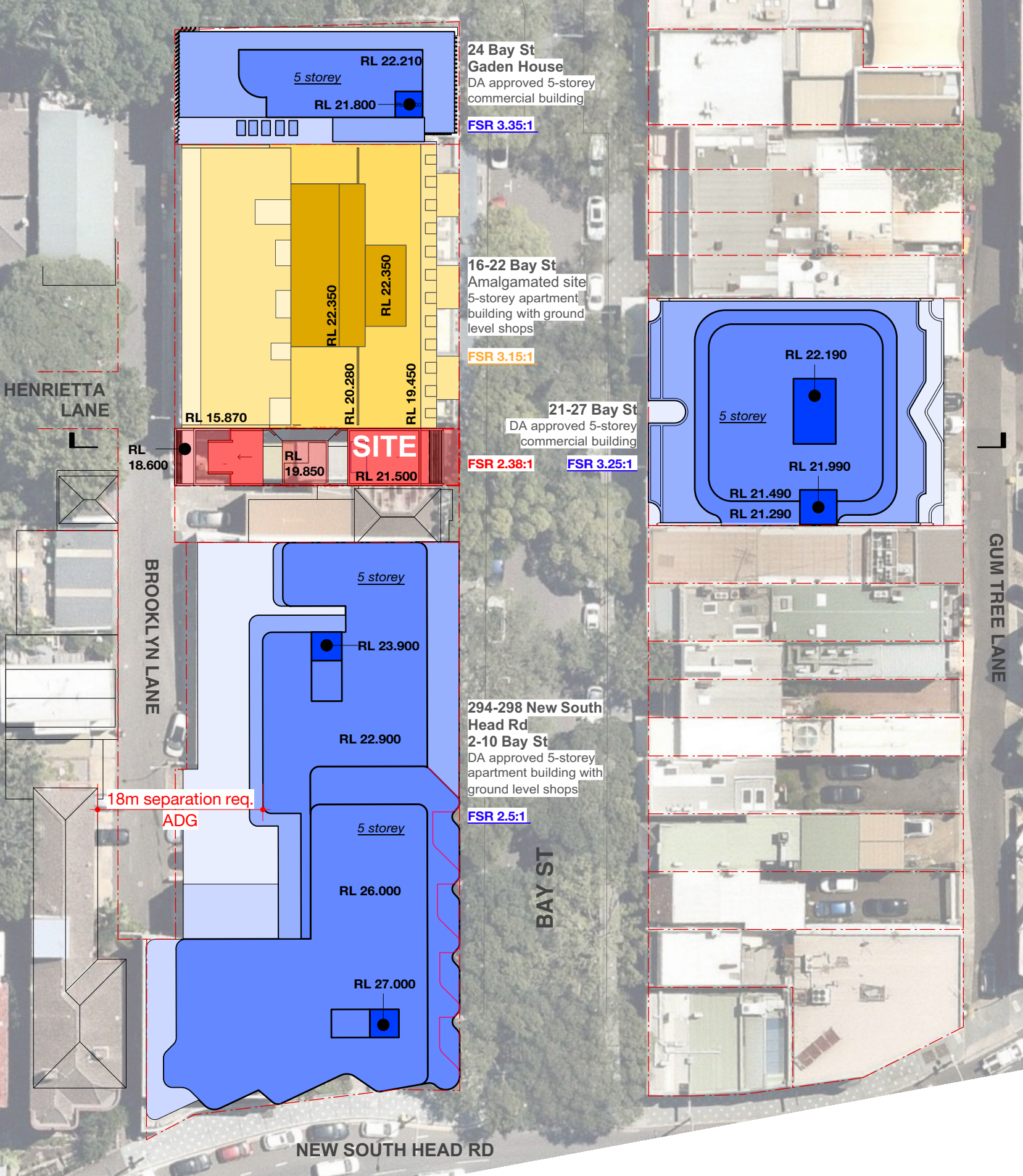
REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
F	19/4/22	Joint Report



PROJECT
Bay Street
14 Bay St, Double Bay

CLIENT
Halepa Holdings

DRAWING TITLE Existing Building + Controls			
JOB NO 19.53	DRAWN MR	SCALE 1:200@A3	DRAWING NO. DA 1.04
DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION F



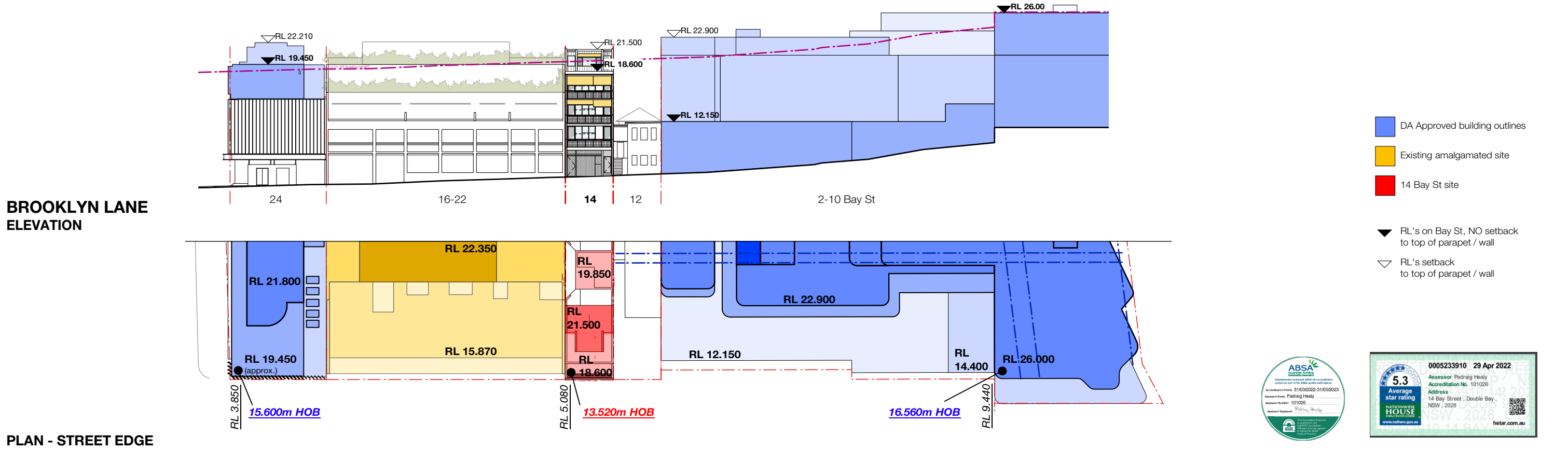
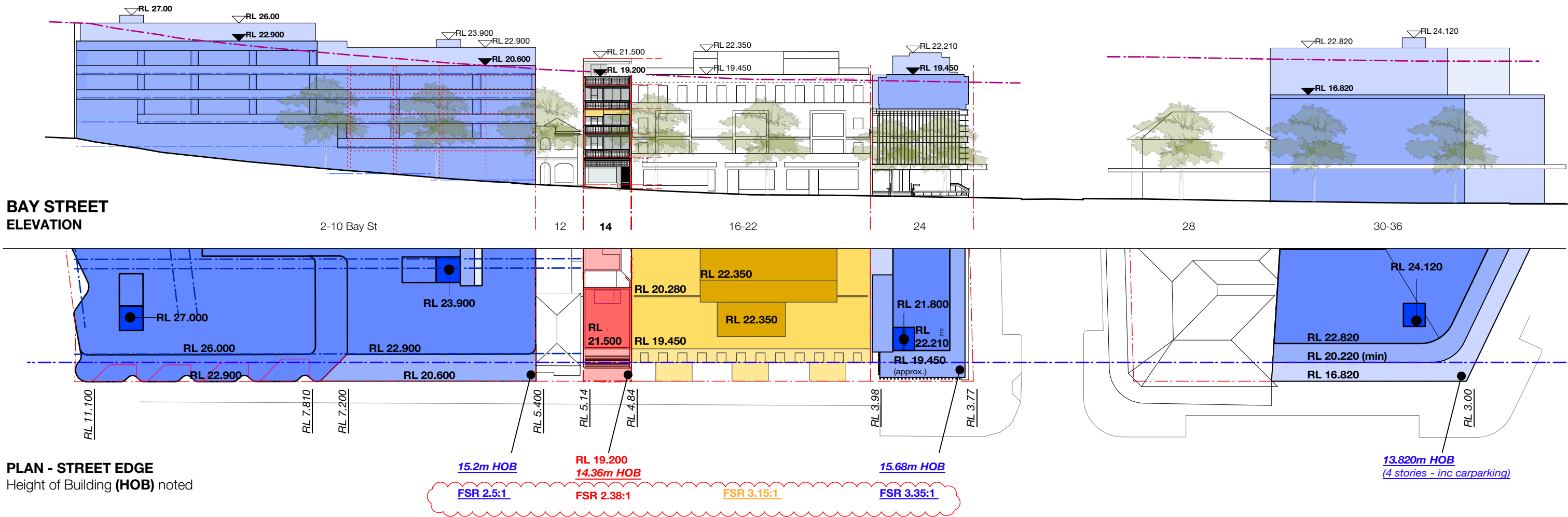
D5.4.4 Bay Street South

Desired future character:
a) Retain the existing modest, lot related building widths and retail frontages.

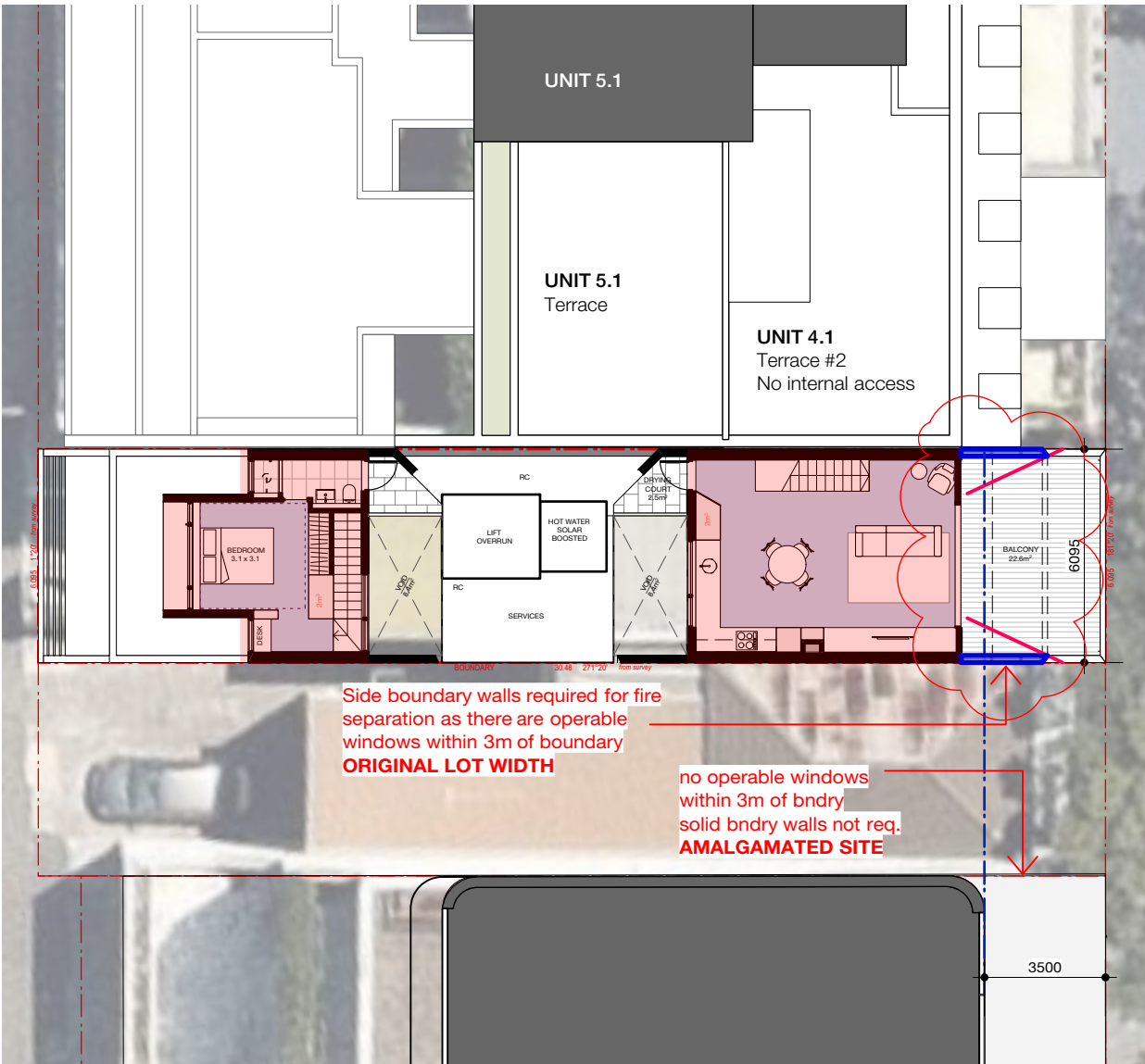
West side of Bay Street south - few original lots remaining



ARCHITECTS: <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div> <div>LEVEL 4, 68-72 Wentworth Ave</div> <div>Sydney Hills NSW 2010 Australia</div> <div>T 02 9211 4274 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #4780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV A B F	DATE 19/1/22 5/4/22 19/4/22	AMENDMENT SECTION 34 CONFERENCE Conference of Expert Witnesses Joint Report	<div><div><div>ABSAR Australian Building Sustainability Assessment</div><div>Assessments created and attested by the accredited persons on behalf of the ABSA quality seal system</div><div>Accreditation Expires: 31/03/2023-31/03/2023</div><div>Assessor Name: <u>Padraig Healy</u></div><div>Assessor Number: <u>101026</u></div><div>Assessor Signature: <u>Padraig Healy</u></div><div><div>ABSAR</div><div>ASSIGNED TO THIS PROJECT</div><div>14 Bay Street, Double Bay, NSW, 2028</div></div></div></div> <div><div>5.3 Average star rating</div><div>0005233910 29 Apr 2022</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div></div><div>hstar.com.au</div></div>	PROJECT Bay Street 14 Bay St, Double Bay	DRAWING TITLE Context - Party Wall Conditions	
JOB NO 19.53	DRAWN MR	SCALE NA	DRAWING NO. DA 1.06					
DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION F					



<div>ARCHITECTS:</div> <div><div>hill thalis</div><div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div><div>LEVEL 4, 68-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div></div> <div><div><div></div><div></div><div></div></div><div>Use figured dimensions only Do not scale Comply with the Building Code of Australia Comply with the relevant Australian Standards Comply with relevant Authorities' requirements</div></div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or an creation vest in Hill Thalis</div>	REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div><div>AFW</div><div>AW</div><div>BAL1</div><div>BAL2</div><div>CLD</div><div>GB</div><div>HR</div><div>MR</div><div>LV</div></div> <div><div>ALUMINIUM FRAMED WINDOW</div><div>AWNING, STEEL FRAME</div><div>BALUSTRADE TO NCC</div><div>STEEL POWDERCOAT WITH GB INFILL</div><div>BALUSTRADE TO NCC</div><div>STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div><div>CLADDING</div><div>CEMENTITE SURROUND, WHITE-BASE FC CLADDING</div><div>GLASS BLOCKS</div><div>HANDRAIL TO NCC, POWDERCOATED STEEL</div><div>METAL ROOF</div><div>HORIZONTAL LOUVRES</div></div> <div><div>MCL</div><div>MC</div><div>PC</div><div>PC-R</div><div>PLD</div><div>RC</div><div>SC</div><div>SCR</div><div>SF</div><div>SG</div><div>TF</div><div>VB</div></div> <div><div>METAL CLADDING</div><div>METAL CAPPING</div><div>PRECAST CONCRETE</div><div>PRECAST CONCRETE, RECKLI WAVE TEXTURE</div><div>PANEL LIFT DOOR</div><div>OFF FORM REINFORCED CONCRETE</div><div>SOLAR COLLECTORS</div><div>METAL SCREEN MESH</div><div>STEEL FRAME, POWDERCOATED</div><div>STEEL GATE, RODS + FRAME</div><div>TILE FINISH</div><div>VERTICAL FABRIC EXTERNAL BLIND</div></div>	PROJECT	DRAWING TITLE			
	A	7/3/22	POST SECTION 34 CONFERENCE	<div>CLIENT</div> <div>Halepa Holdings</div>	<div>JOB NO</div> <div>19.53</div>	<div>DRAWN</div> <div>MR</div>	<div>SCALE</div> <div>1:500@A3</div>	<div>DRAWING NO.</div> <div>DA 1.07</div>	
	B	5/4/22	Conference of Expert Witnesses						
	F	19/4/22	Joint Report						
					<div>CLIENT</div> <div>Halepa Holdings</div>	<div>JOB NO</div> <div>19.53</div>	<div>DRAWN</div> <div>MR</div>	<div>SCALE</div> <div>1:500@A3</div>	<div>DRAWING NO.</div> <div>DA 1.07</div>
						<div>DATE</div> <div>Sept 2020</div>	<div>CHECKED</div> <div>PT</div>	<div>PLOT DATE</div> <div>19/4/22</div>	<div>REVISION</div> <div>F</div>



UNIT 4.1 Terrace # 1



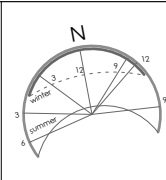
UNIT 4.1 Terrace # 2



ARCHITECTS:
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ARCHITECTURE + URBAN PROJECTS PTY LTD
LEVEL 4, 68-72 Wentworth Ave
Sydney NSW 2010 Australia
T 02 9211 4274 F 02 9281 3171
E admin@hillthalis.com.au www.hillthalis.com.au
Nominated Architects: Philip Thalis #4780 Sarah Hill #5285

- Use figured dimensions only
- Do not scale
- Comply with the Building Code of Australia
- Comply with the relevant Australian Standards
- Comply with relevant Authorities' requirements

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REV	DATE	AMENDMENT
A	7/3/22	POST SECTION 34 CONFERENCE
B	5/4/22	Conference of Expert Witnesses
F	19/4/22	Joint Report

REV	DATE	AMENDMENT
A	7/3/22	POST SECTION 34 CONFERENCE
B	5/4/22	Conference of Expert Witnesses
F	19/4/22	Joint Report

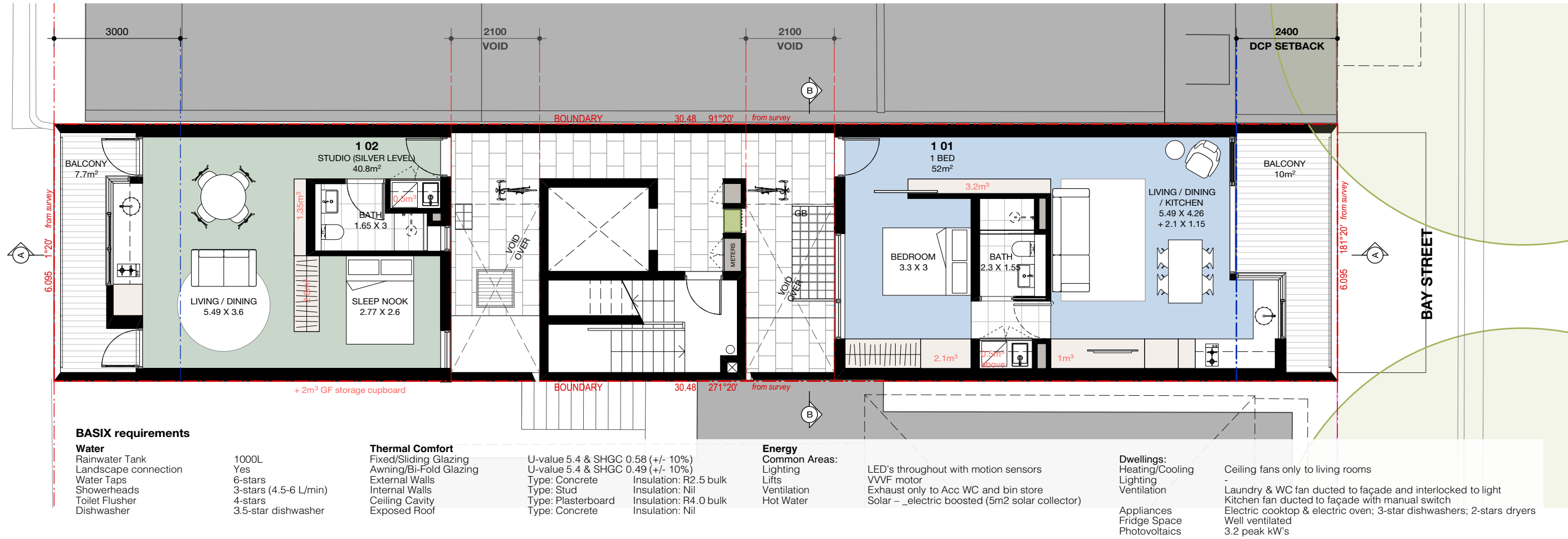


PROJECT	Bay Street 14 Bay St, Double Bay
CLIENT	Halepa Holdings

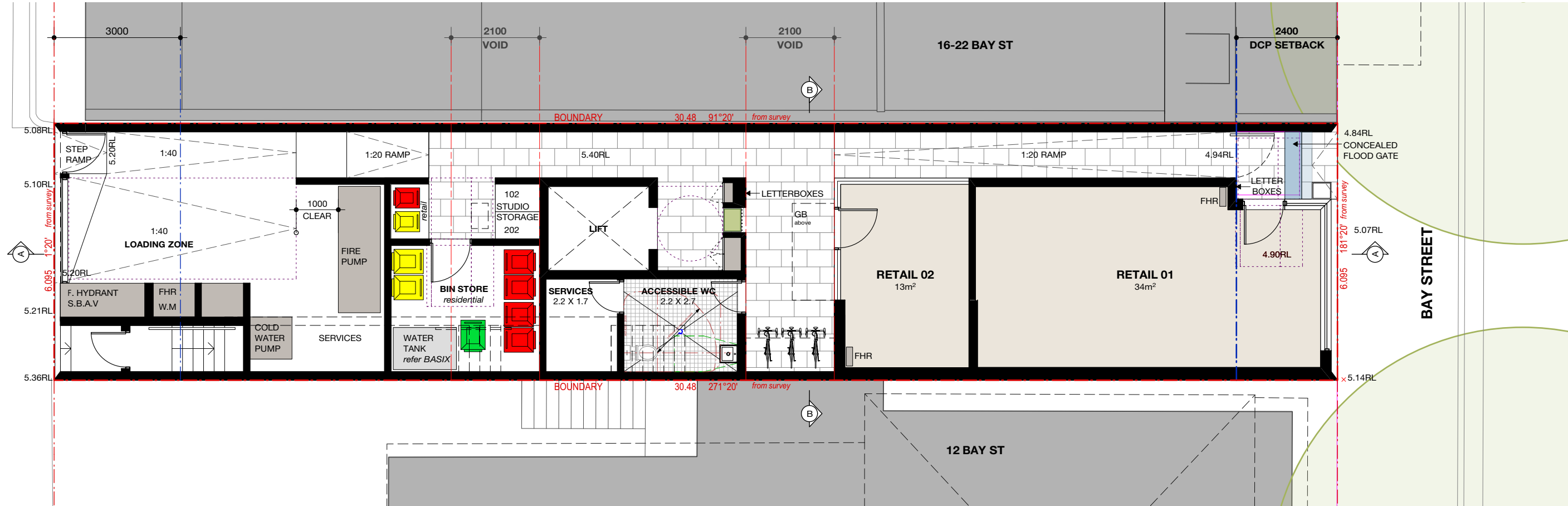
DRAWING TITLE Context - Unit 4.1 Terrace			
JOB NO 19.53	DRAWN MR	SCALE 1:200@A3	DRAWING NO. DA 1.08
DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION F



LEVEL 1

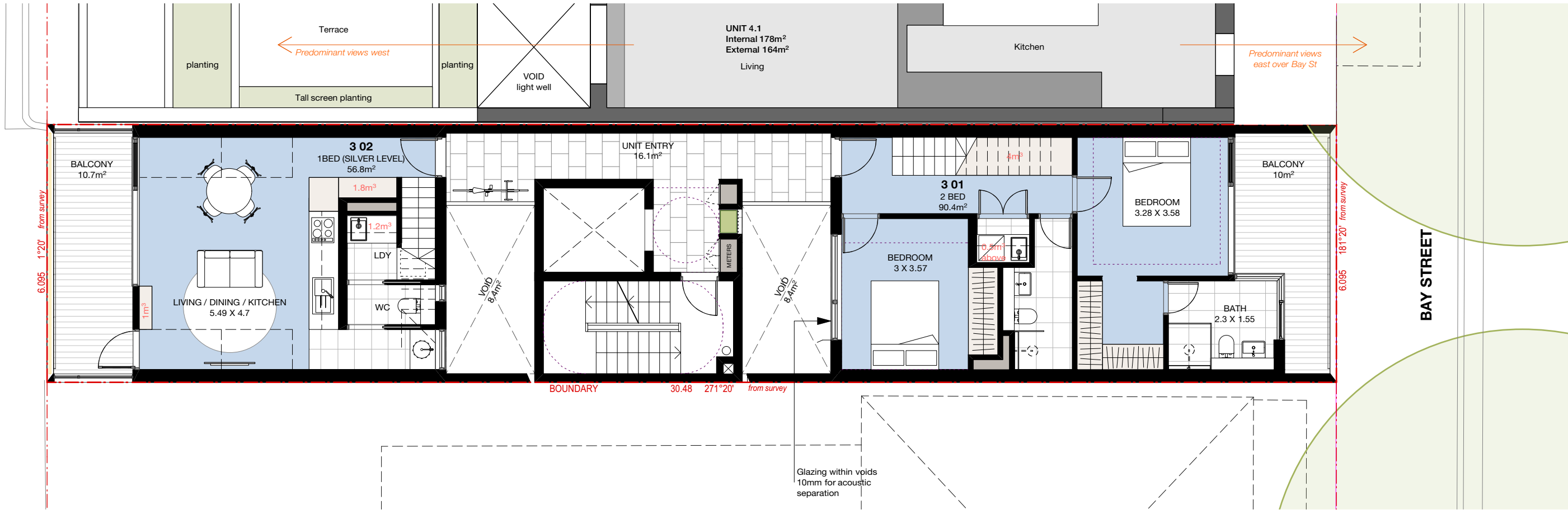


GROUND

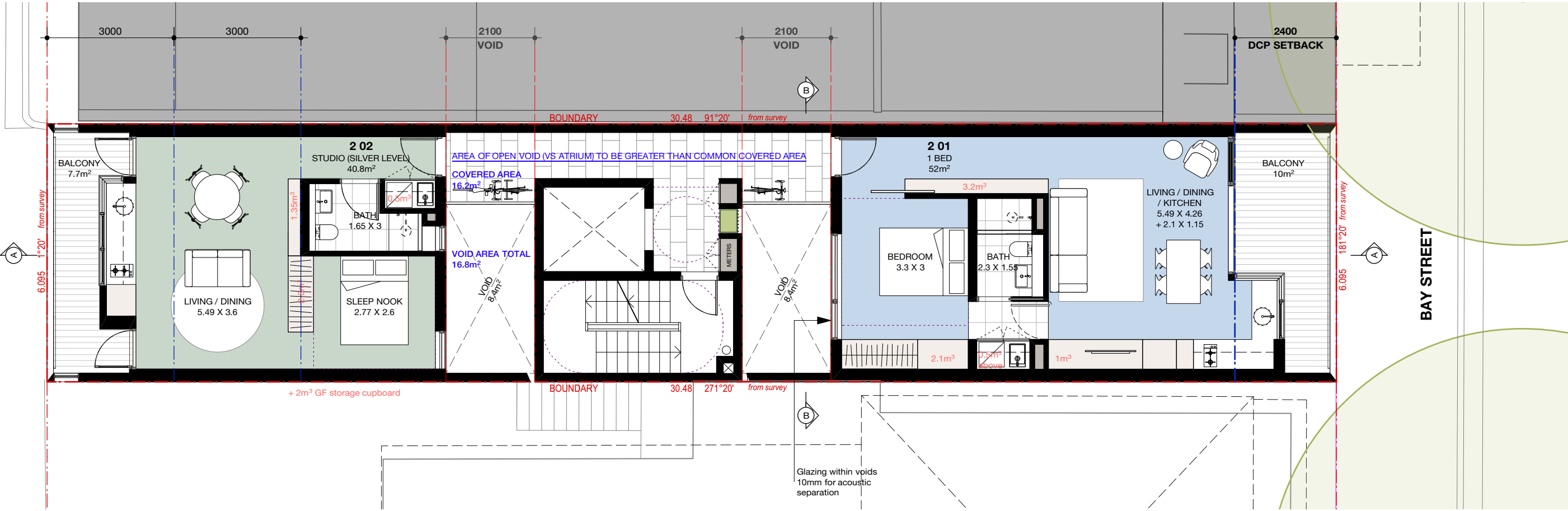


<div>ARCHITECTS:</div> <div><div>hill thalis</div><div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div><div>LEVEL 4, 68-72 Wentworth Ave</div><div>Sydney NSW 2010 Australia</div><div>T 02 9211 4274 F 02 9281 3171</div><div>E admin@hillthalis.com.au www.hillthalis.com.au</div><div>Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div></div> <div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><d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LEVEL 3



LEVEL 2



ARCHITECTS:

hill thalis

ARCHITECTURE + URBAN PROJECTS PTY LTD

LEVEL 4, 68-72 Wentworth Ave
Sydney NSW 2010 Australia
T 02 9211 4274 F 02 9281 3171
E admin@hillthalis.com.au www.hillthalis.com.au

Nominated Architects: Philip Thalis #4780 Sarah Hill #5285

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REV

A
B
C
F

DATE

2/9/20
29/4/21
19/1/22
19/4/22

AMENDMENT

DA SUBMISSION
REVISED DA SUBMISSION
SECTION 34 CONFERENCE
Joint Report

ABSAR

Accreditation No. 310302022-310302023

Assessor Name: P. Thalis

Assessor Number: 101026

Assessor Signature: P. Thalis

5.3

Average star rating

NATIONWIDE HOUSE

0005233910 29 Apr 2022

Assessor: P. Thalis

Accreditation No. 101026

Address: 14 Bay Street, Double Bay, NSW, 2028

hstar.com.au

PROJECT

Bay Street

14 Bay St, Double Bay

CLIENT

Halepa Holdings

DRAWING TITLE

Plan - Level 2 + 3

JOB NO

19.53

DRAWN

MR

SCALE

1:100@A3

DRAWING NO.

DA 2.01

DATE

Sept 2020

CHECKED

PT

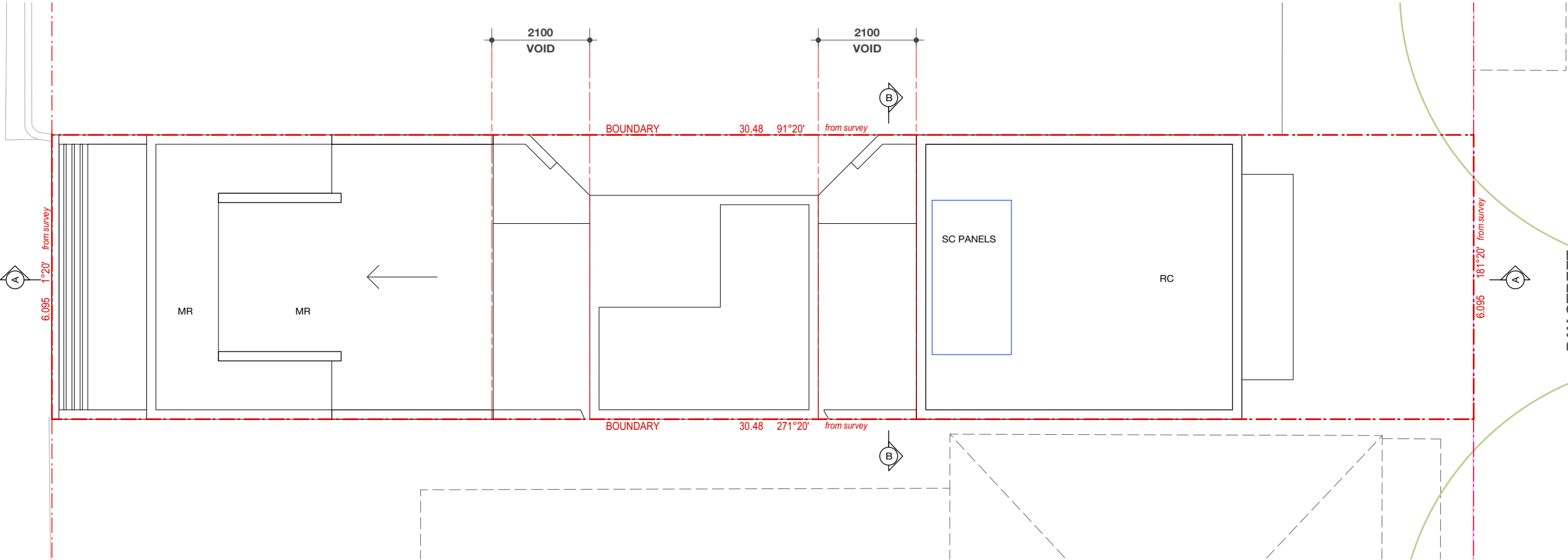
PLOT DATE

19/4/22

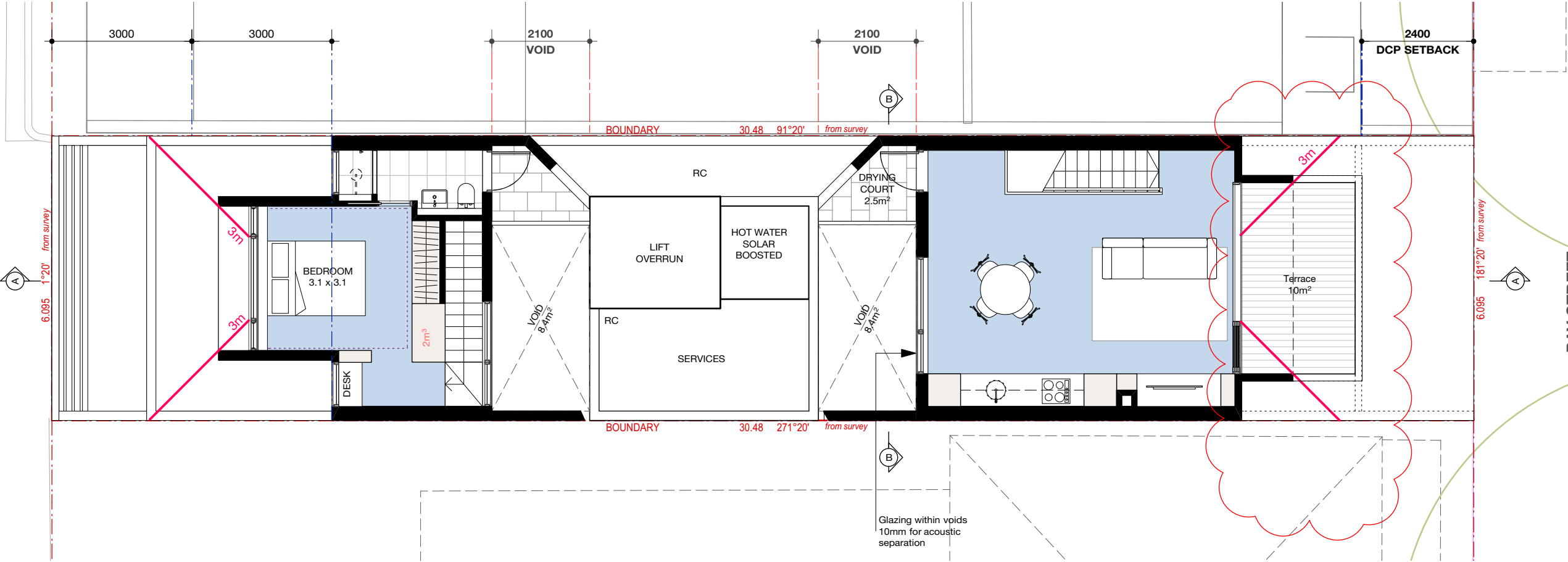
REVISION

F

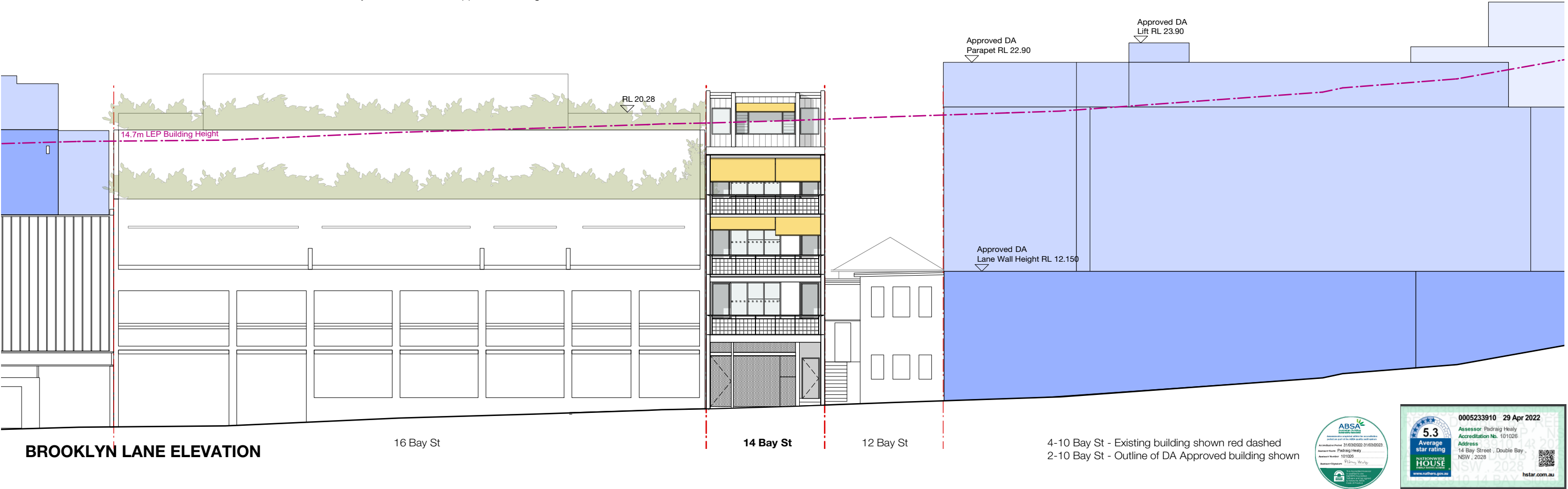
ROOF



LEVEL 4



<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalix #6780 Sarah HSB #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>		REV	DATE	AMENDMENT			PROJECT	DRAWING TITLE			
		A	2/9/20	DA SUBMISSION			JOB NO	DRAWN	SCALE	DRAWING NO.	
		B	29/4/21	REVISED DA SUBMISSION			19.53	MR	1:100@A3	DA 2.02	
		C	19/1/22	SECTION 34 CONFERENCE			DATE	CHECKED	PLOT DATE	REVISION	
		D	5/4/22	Conference of Expert Witnesses			Sept 2020	PT	27/4/22	G	
		F	19/4/22	Joint Report							
		G	27/4/22	Revised Terrace to Bay Street							
14 Bay St, Double Bay											
Halepa Holdings											



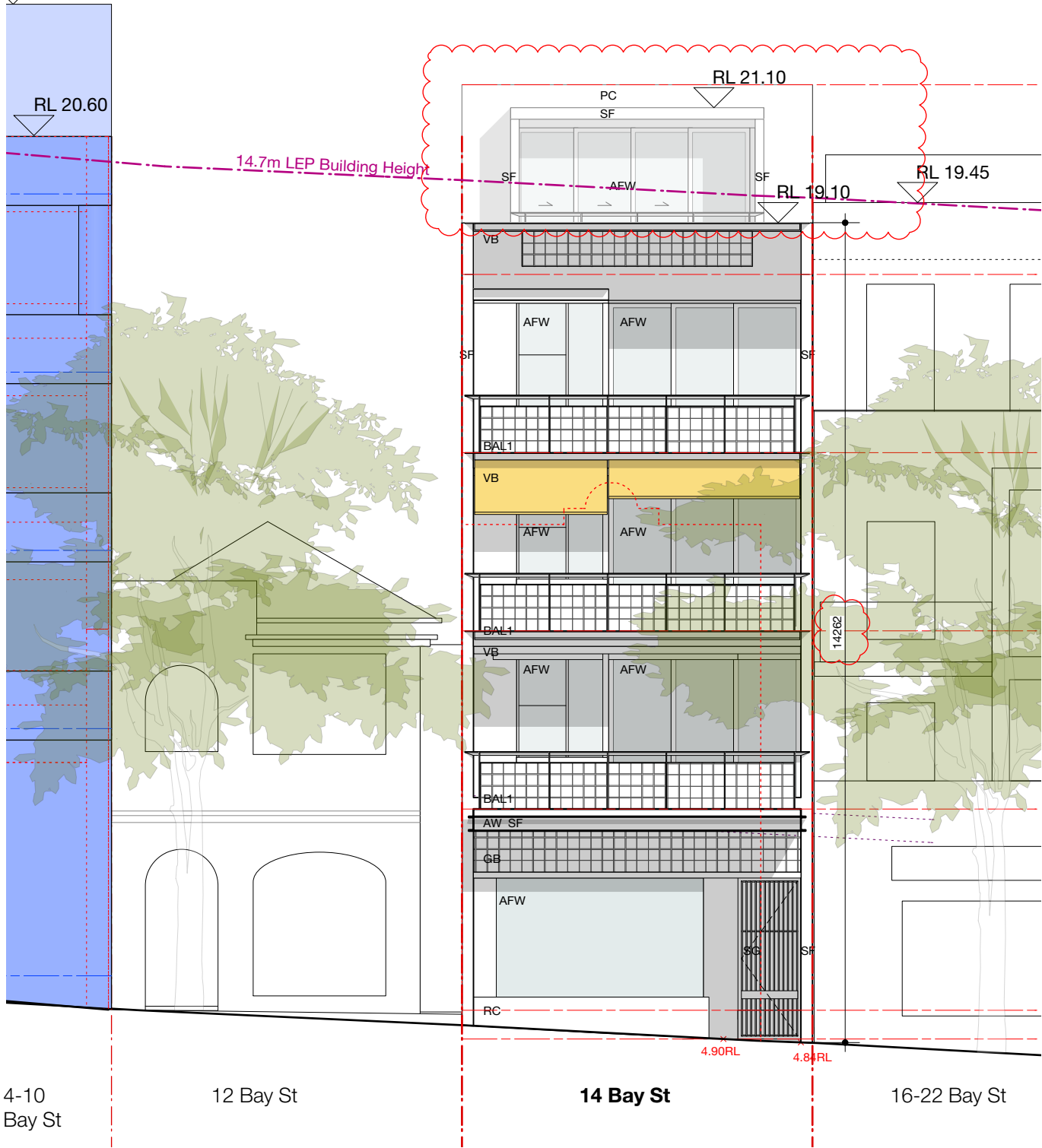
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Ave</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah H8 #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	<div>– Use figured dimensions only</div> <div>– Do not scale</div> <div>– Comply with the Building Code of Australia</div> <div>– Comply with the relevant Australian Standards</div> <div>– Comply with relevant Authorities' requirements</div>	REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD CLADDING</div> <div>GB GEMINTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CLAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEELFRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT	DRAWING TITLE			
		A	2/9/20	DA SUBMISSION		<div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	Elevations - Street			
		B	29/4/21	REVISED DA SUBMISSION			JOB NO	DRAWN	SCALE	DRAWING NO.
		C	19/1/22	SECTION 34 CONFERENCE			19.53	MR	1:200@A3	DA 3.00
		D	25/1/22	UPDATED SECTION 34 CONFERENCE.			DATE	CHECKED	PLOT DATE	REVISION
		E	5/4/22	Conference of Expert Witnesses			Sept 2020	PT	27/4/22	G
		F	19/4/22	Joint Report						
		G	27/4/22	Revised terrace to Bay Street						



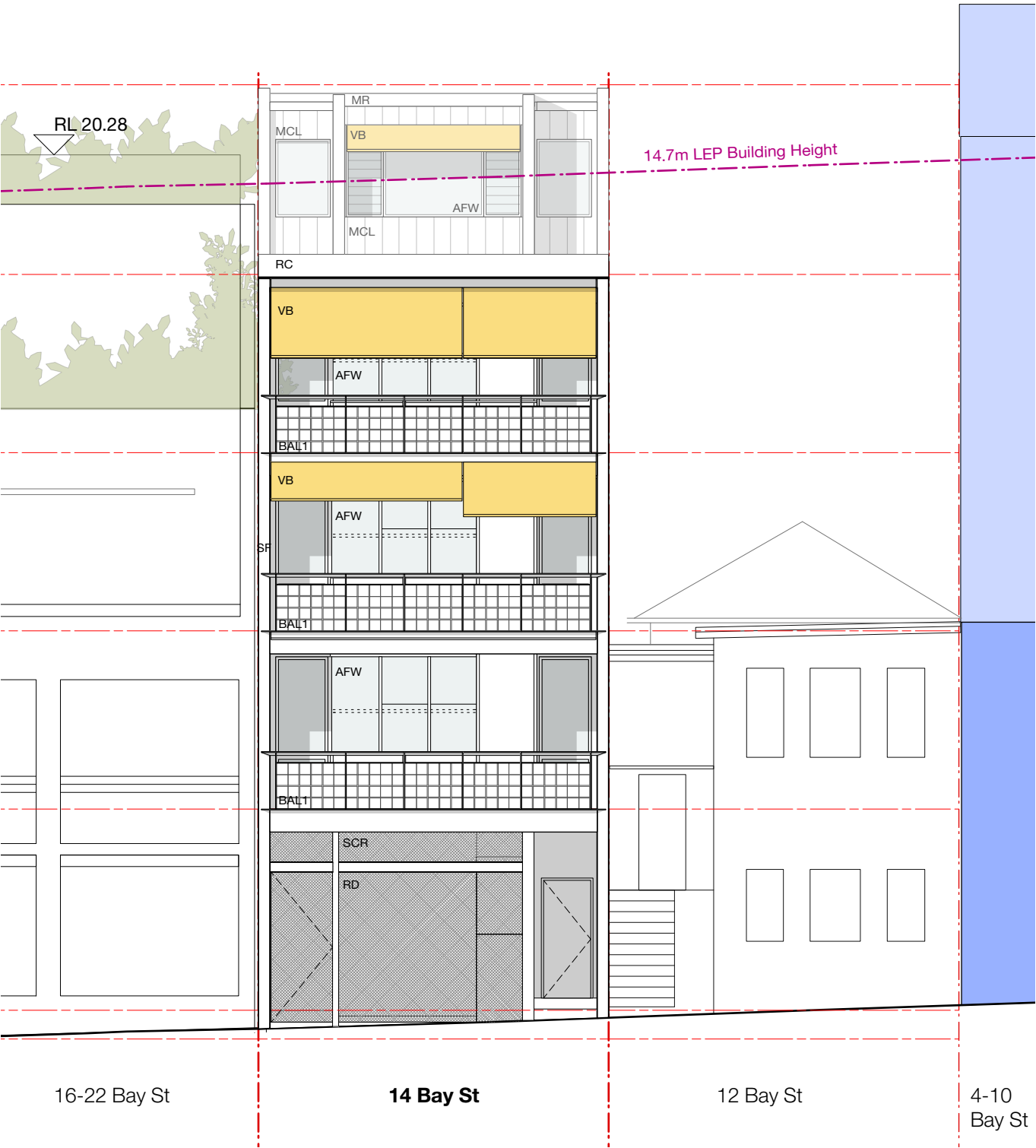
BAY STREET
ELEVATION



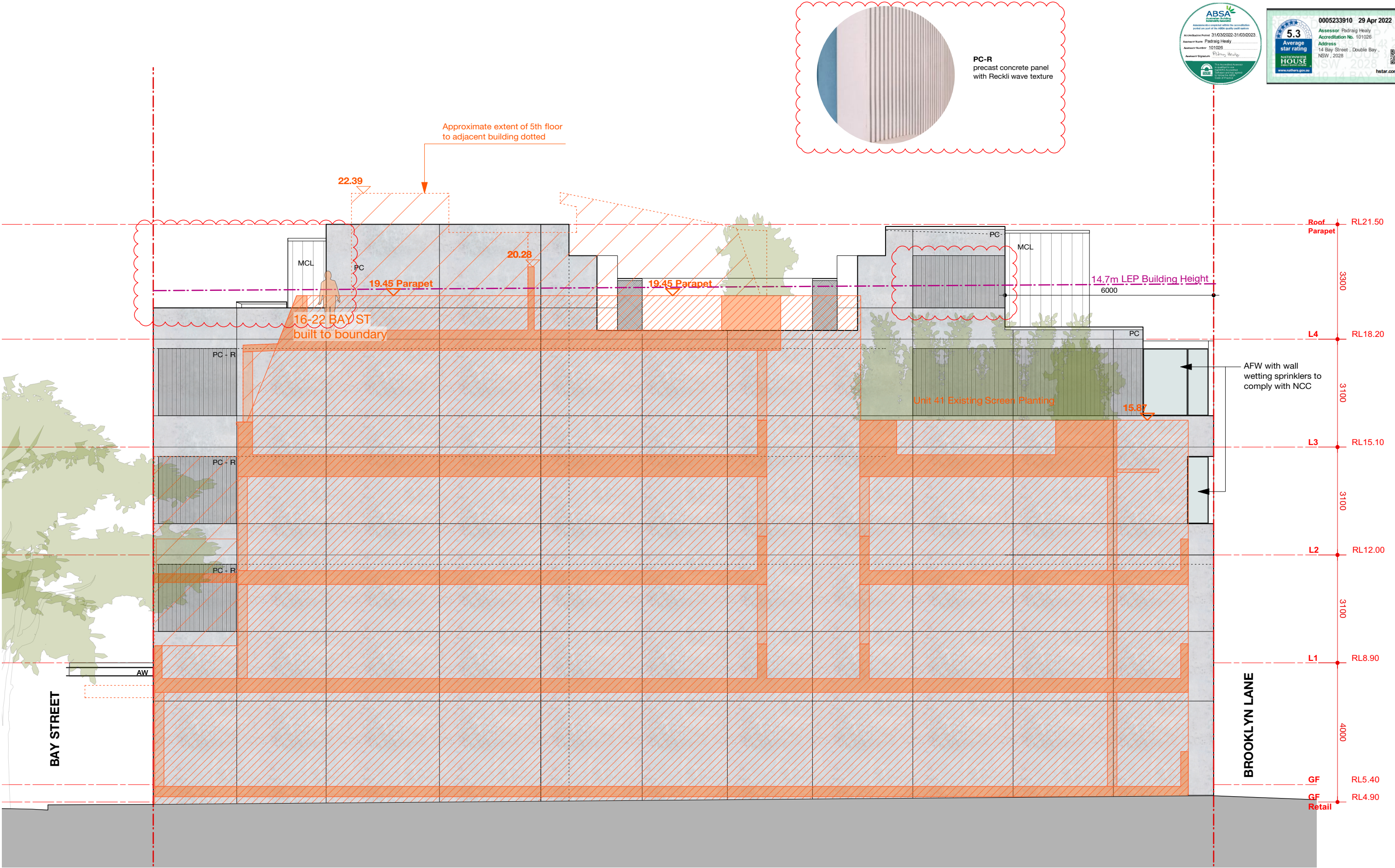
Approved DA
Parapet RL 22.90



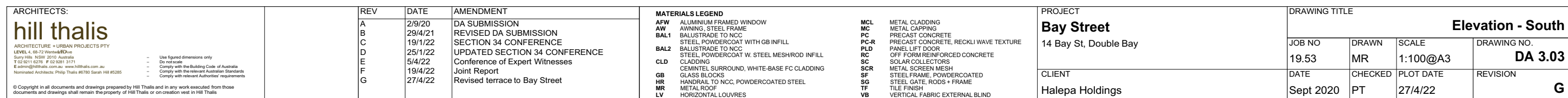
BROOKLYN LANE
ELEVATION

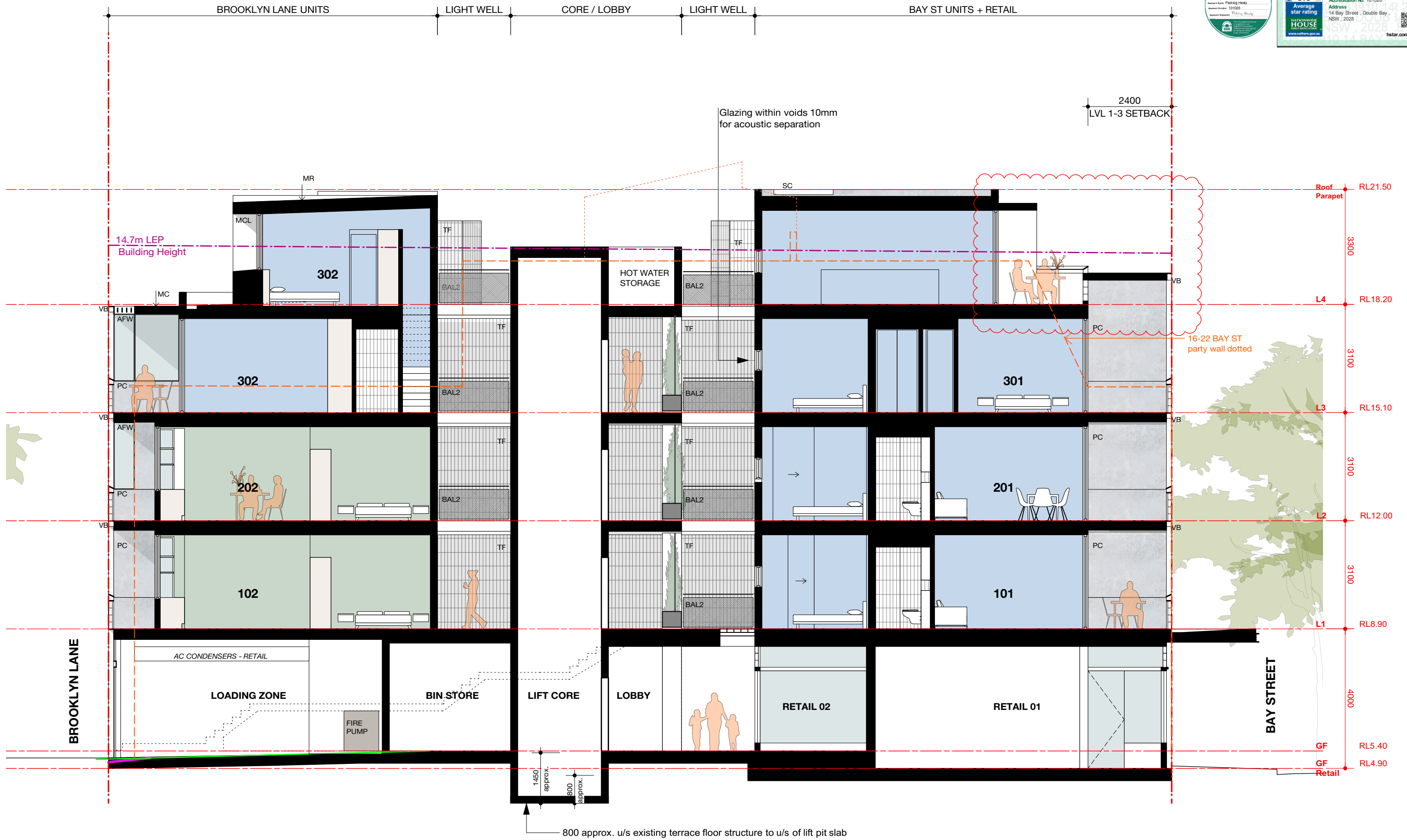


ARCHITECTS: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LEVEL 4, 68/72 Wentworth Drive Surrey Hills NSW 2015 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalys #6780 Sarah Hill #5285		REV DATE AMENDMENT A 2/9/20 DA SUBMISSION B 29/4/21 REVISED DA SUBMISSION C 19/1/22 SECTION 34 CONFERENCE D 25/1/22 UPDATED SECTION 34 CONFERENCE E 5/4/22 Conference of Expert Witnesses F 19/4/22 Joint Report G 27/4/22 Revised terrace to Bay Street		MATERIALS LEGEND AFW ALUMINIUM FRAMED WINDOW AW AWNING, STEEL FRAME BAL1 BALUSTRADE TO NCC BAL2 BALUSTRADE TO NCC CLD CLADDING GB GLASS BLOCKS HR HANDRAIL TO NCC, POWDERCOATED STEEL MR METAL ROOF LV HORIZONTAL LOUVRES MCL METAL CLADDING MC METAL CAPPING PC PRECAST CONCRETE, RECKLI WAVE TEXTURE PC-R PANEL LIFT DOOR PLD OFF FORM REINFORCED CONCRETE RC SOLAR COLLECTORS SCR METAL SCREEN MESH SF STEEL FRAME, POWDERCOATED SG STEEL GATE, RODS + FRAME TF TILE FINISH VB VERTICAL FABRIC EXTERNAL BLIND		PROJECT Bay Street 14 Bay St, Double Bay CLIENT Halepa Holdings		DRAWING TITLE Elevations - East + West JOB NO 19.53 DRAWN MR SCALE 1:100@A3 DRAWING NO. DA 3.01 DATE Sept 2020 CHECKED PT PLOT DATE 27/4/22 REVISION G	
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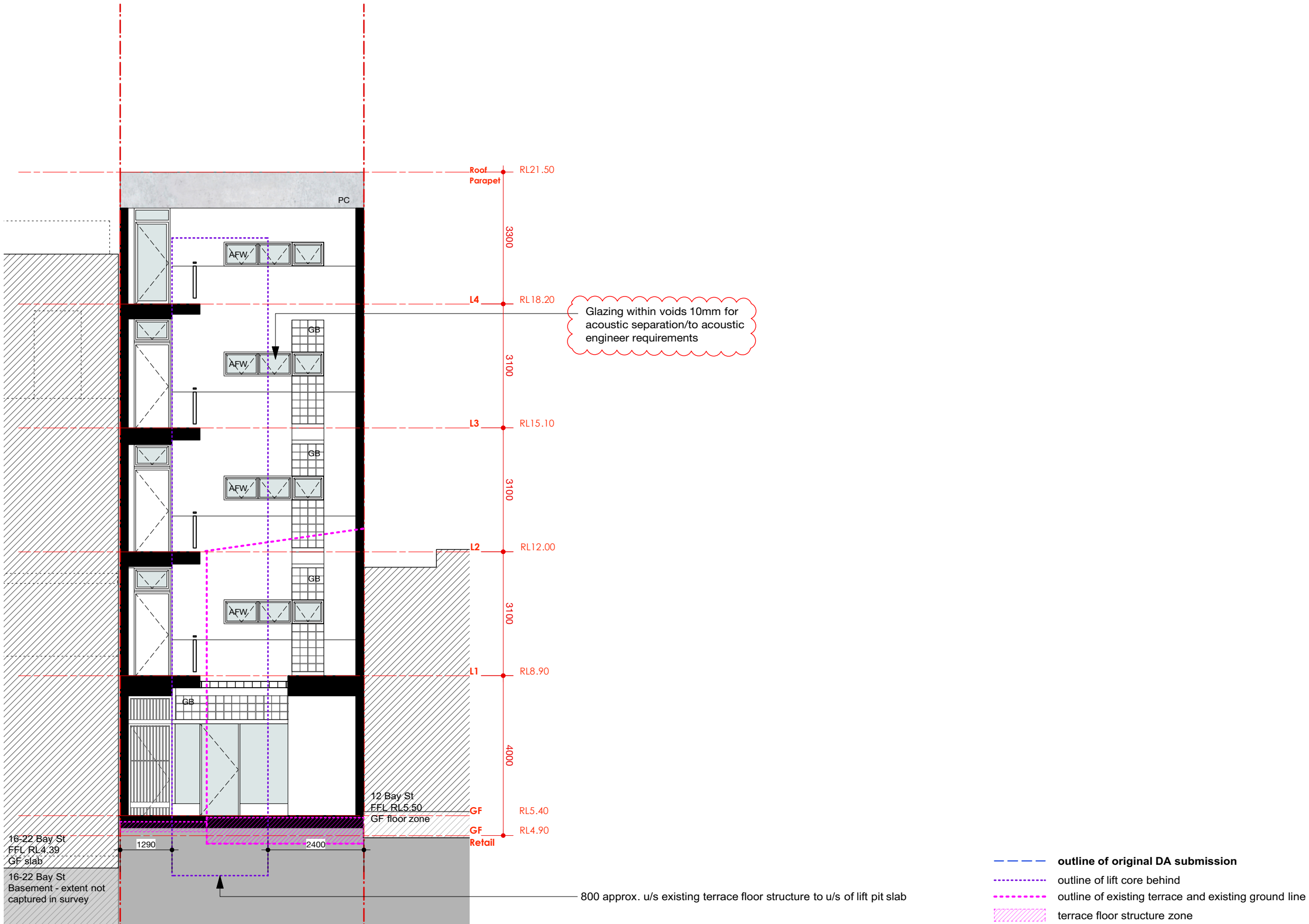
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah H8 #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	<div>REV</div> <div>A</div> <div>B</div> <div>C</div> <div>D</div> <div>F</div> <div>G</div>	<div>DATE</div> <div>2/9/20</div> <div>29/4/21</div> <div>19/1/22</div> <div>5/4/22</div> <div>19/4/22</div> <div>27/4/22</div>	<div>AMENDMENT</div> <div>DA SUBMISSION</div> <div>REVISED DA SUBMISSION</div> <div>SECTION 34 CONFERENCE</div> <div>Conference of Expert Witnesses</div> <div>Joint Report</div> <div>Revised terrace to Bay Street</div>	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB GEMINTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CLIPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEELFRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	<div>DRAWING TITLE</div> <div>Elevation - North</div>			
						JOB NO	DRAWN	SCALE	DRAWING NO.
						19.53	MR	1:100@A3	DA 3.02
						DATE	CHECKED	PLOT DATE	REVISION
						Sept 2020	PT	27/4/22	G





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		A	2/9/20	DA SUBMISSION							
		B	8/12/20	ISSUE FOR COUNCIL - EXCAVATION		19.53	MR	1:100@A3	DA 3.04		
		C	29/4/21	REVISED DA SUBMISSION		DATE	CHECKED	PLOT DATE	REVISION		
		D	19/1/22	SECTION 34 CONFERENCE		Sept 2020	PT	27/4/22	G		
		E	25/1/22	UPDATED SECTION 34 CONFERENCE							
		F	5/4/22	Conference of Expert Witnesses							
		G	19/4/22	Joint Report							
		F	19/4/22	Revised terrace to Bay Street							

SECTION B



- outline of original DA submission
- outline of lift core behind
- - - - outline of existing terrace and existing ground line
- ▨ terrace floor structure zone

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div> <div>LEVEL 4, 68-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>	<div><div>Use figured dimensions only</div><div>Do not scale</div><div>Comply with the Building Code of Australia</div><div>Comply with the relevant Australian Standards</div><div>Comply with relevant Authorities' requirements</div></div>	REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB GEMINTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT		DRAWING TITLE	
		A	2/9/20	DA SUBMISSION		Bay Street		Section B	
		B	8/12/20	ISSUE FOR COUNCIL - EXCAVATION		14 Bay St, Double Bay		DA 3.05	
		C	29/4/21	REVISED DA SUBMISSION		CLIENT		REVISION	
		D	19/1/22	SECTION 34 CONFERENCE		Halepa Holdings		F	
		E	25/1/22	UPDATED FOR SECTION 34 CONFERENCE					
		F	19/4/22	Joint Report					



12 Henrietta St

14 Bay St

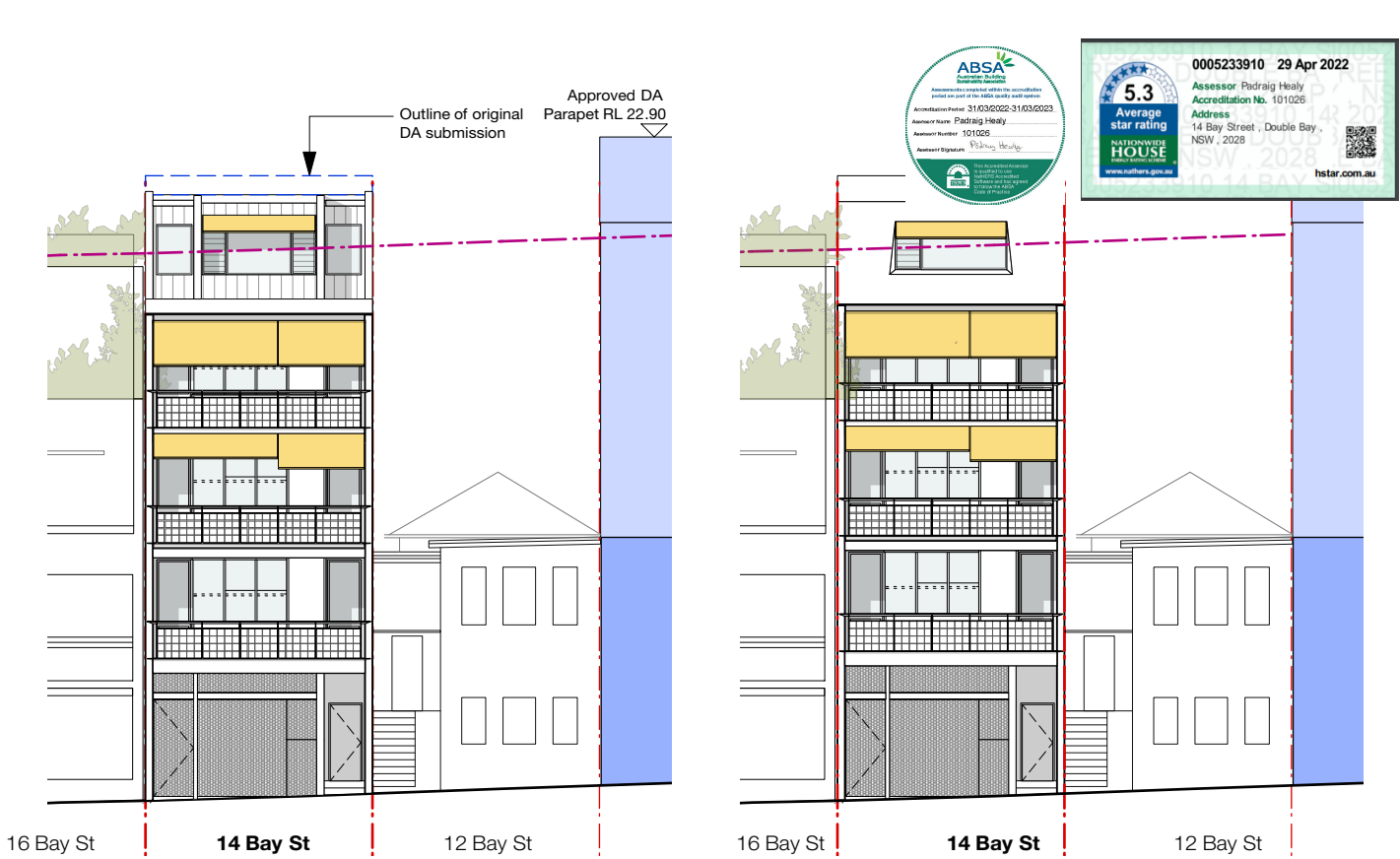
21-27 Bay St
DA approved 5-storey commercial building

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		A	19/1/22	SECTION 34 CONFERENCE		Bay Street		Section A - Extended			
		F	19/4/22	Joint Report		14 Bay St, Double Bay		JOB NO	DRAWN	SCALE	DRAWING NO.
		G	29/4/22	Revised terrace to Bay Street		Halepa Holdings		19.53	MR	1:100@A3	DA 3.06
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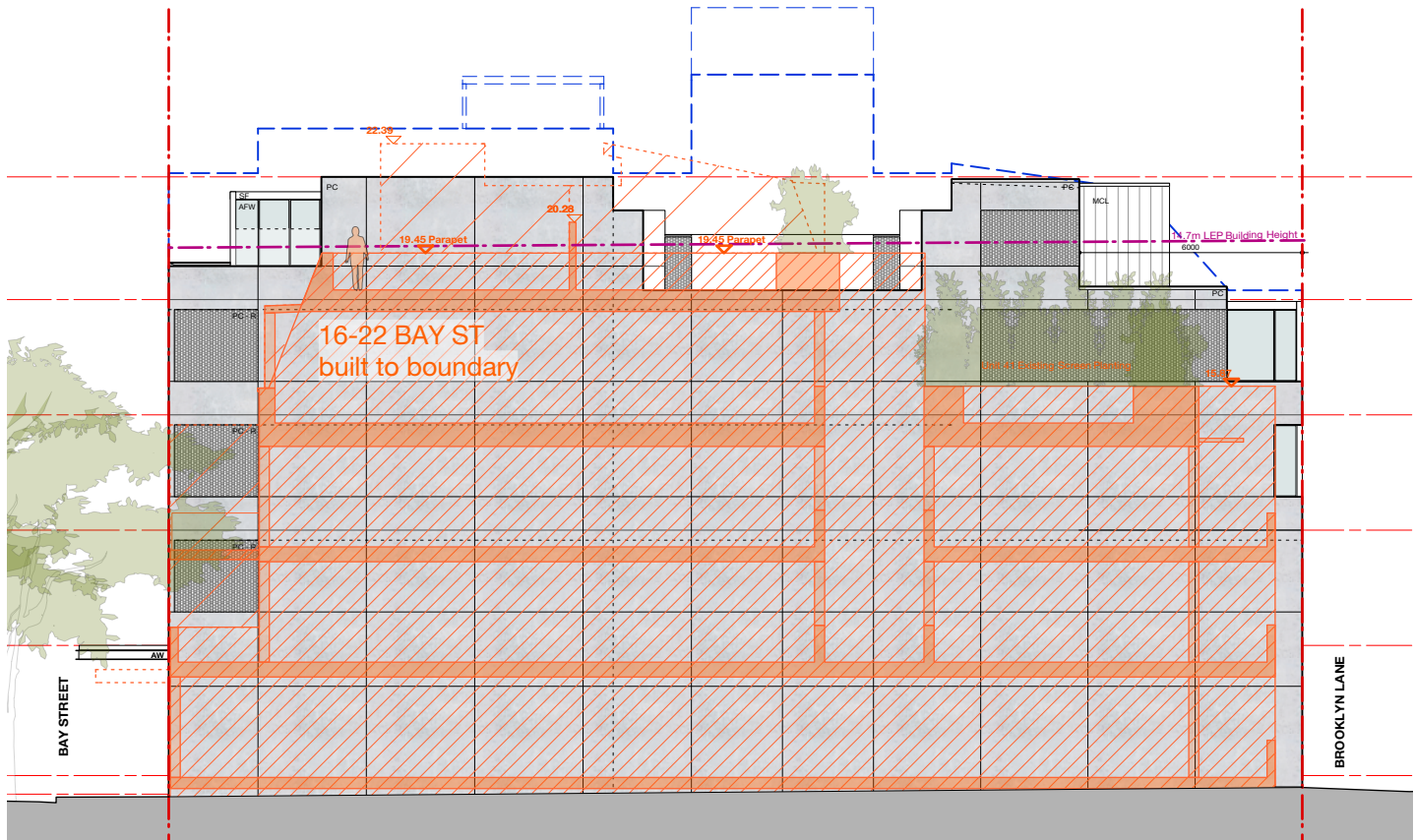
Revised Proposal
BAY STREET ELEVATION

Original Proposal



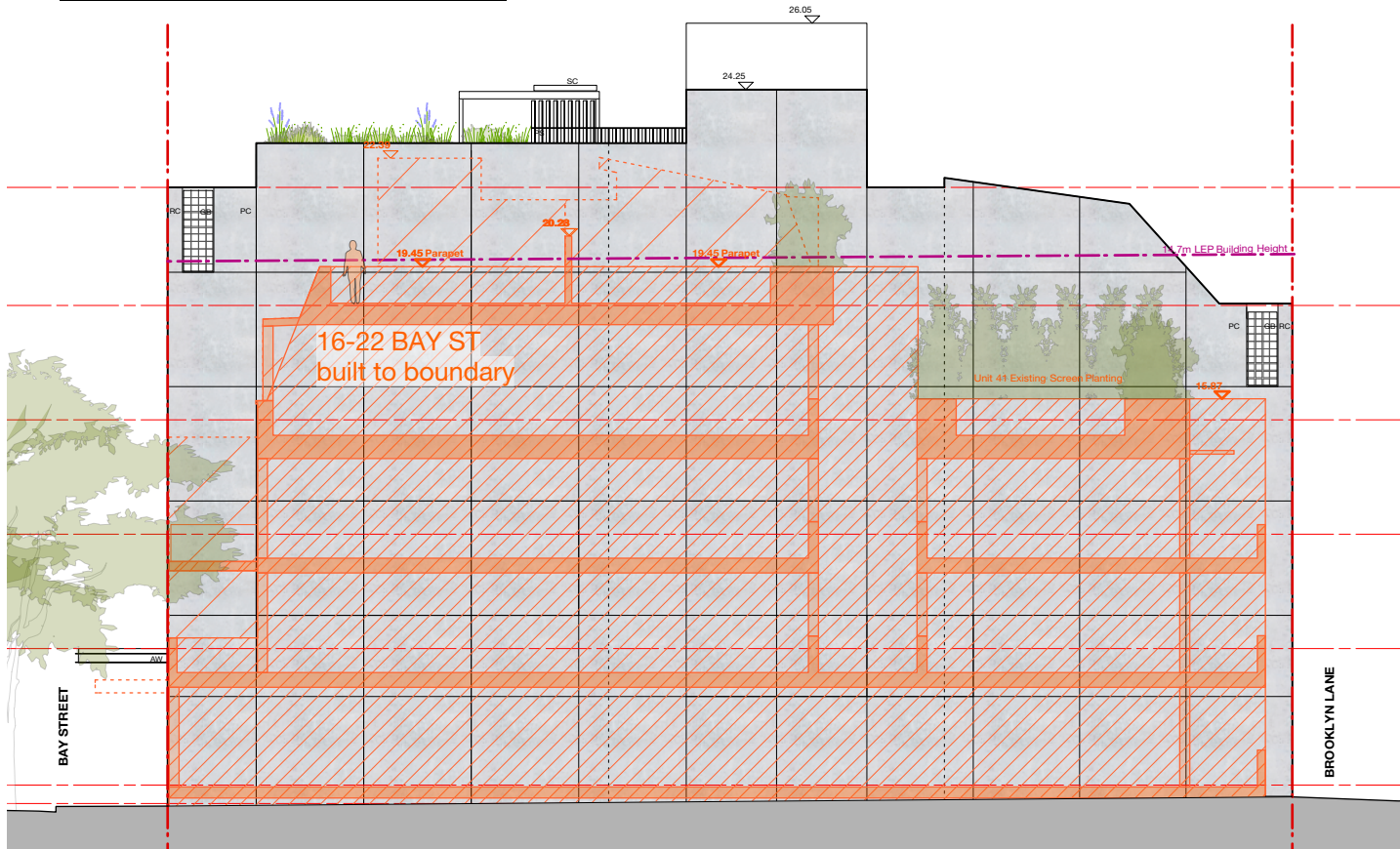
Revised Proposal
BROOKLYN LANE ELEVATION

Original Proposal



Revised Proposal

NORTH ELEVATION



Original Proposal

<div>ARCHITECTS: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LTD LEVEL 4, 68-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div> <div>Use figured dimensions only Do not scale Comply with the Building Code of Australia Comply with the relevant Australian Standards Comply with relevant Authorities' requirements</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>	<div>REV</div> <div>A</div> <div>F</div>	<div>DATE</div> <div>25/1/22</div> <div>19/4/22</div>	<div>AMENDMENT</div> <div>REQUESTED INFORMATION FOR S34 CONFERENCE</div> <div>Joint Report</div>	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>CLD BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB CEMENTITEL SURROUND, WHITE-BASE PC CLADDING</div> <div>HR GLASS BLOCKS</div> <div>MR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>LV METAL ROOF</div> <div>HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEELFRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	<div>DRAWING TITLE</div> <div>Elevations - Comparison page</div>			
						<div>JOB NO</div> <div>19.53</div>	<div>DRAWN</div> <div>MR</div>	<div>SCALE</div> <div>1:200@A3</div>	<div>DRAWING NO.</div> <div>DA 3.07</div>
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external blinds on edge of balcony



steel frame balustrade, glass block infill



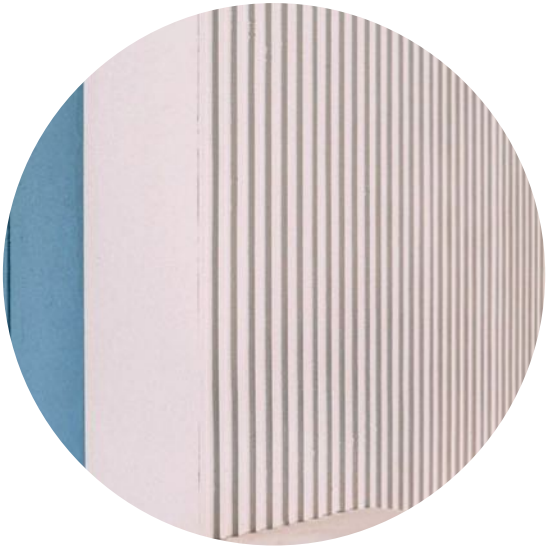
concrete and FC cladding



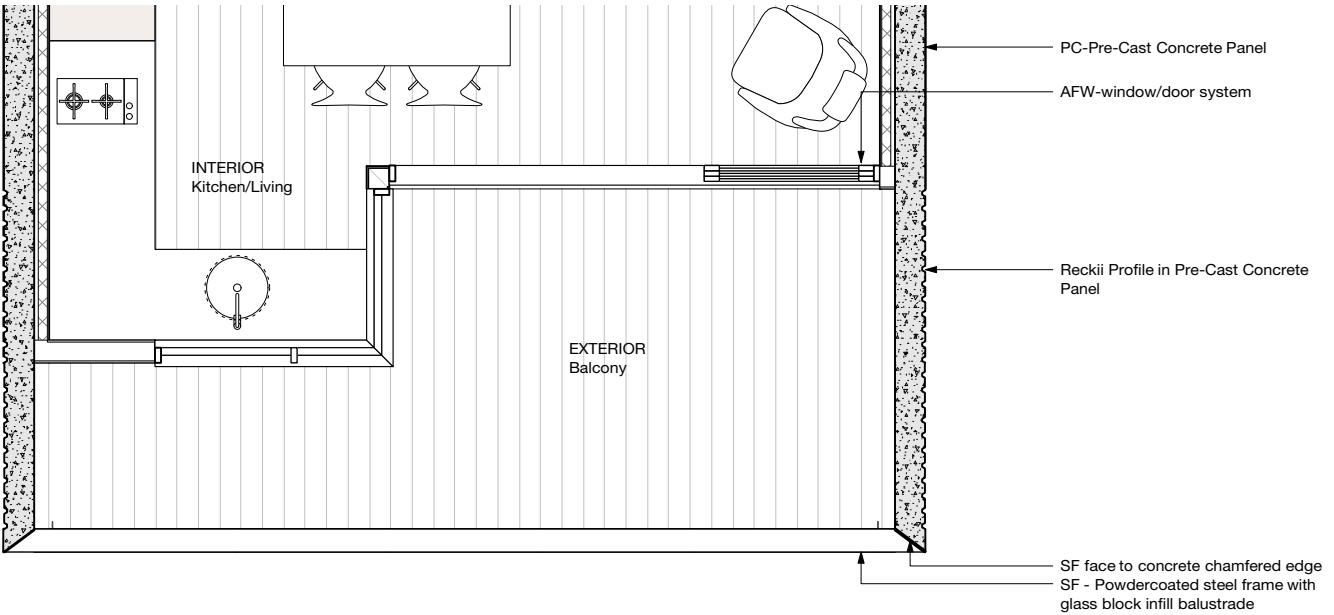
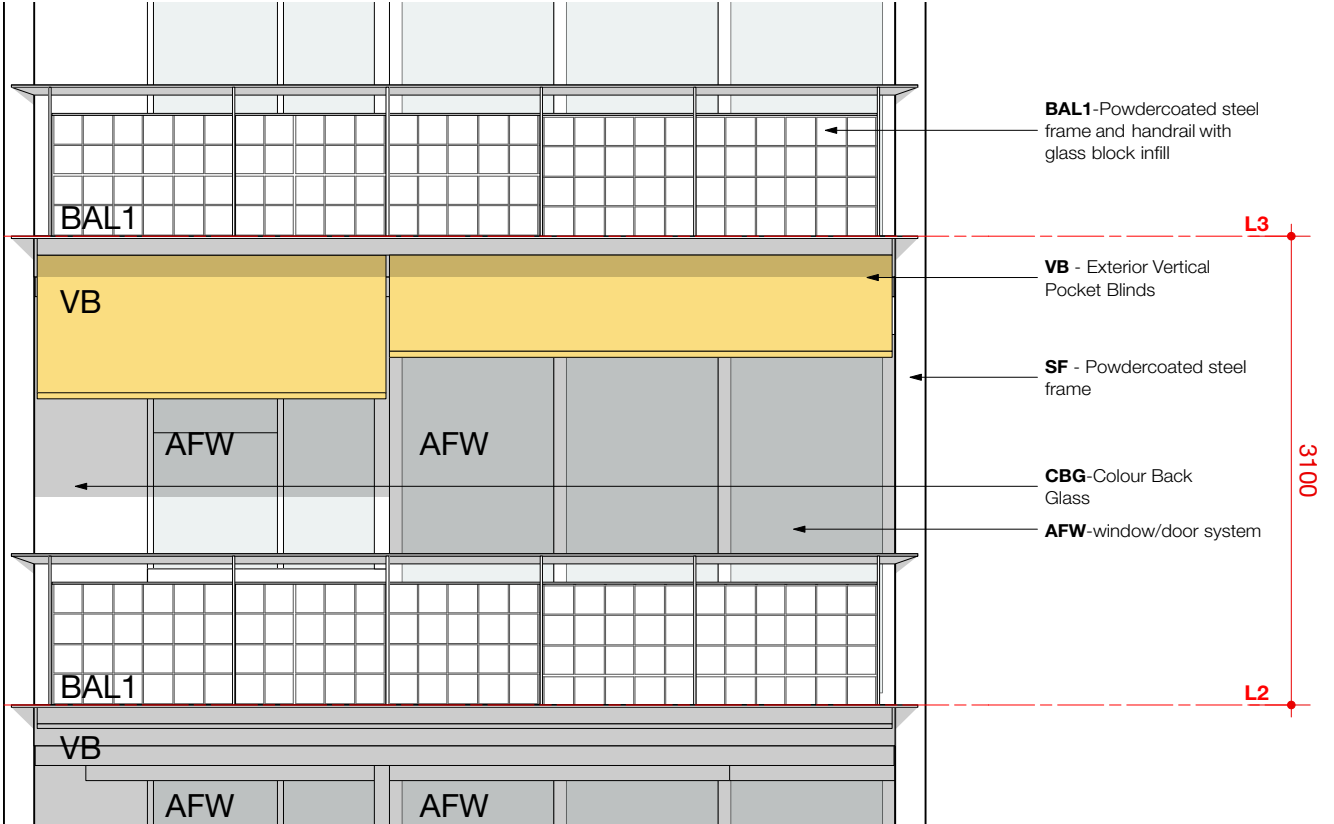
concrete, glass block



reflective inner core



Reckli wave pattern in pre cast panels



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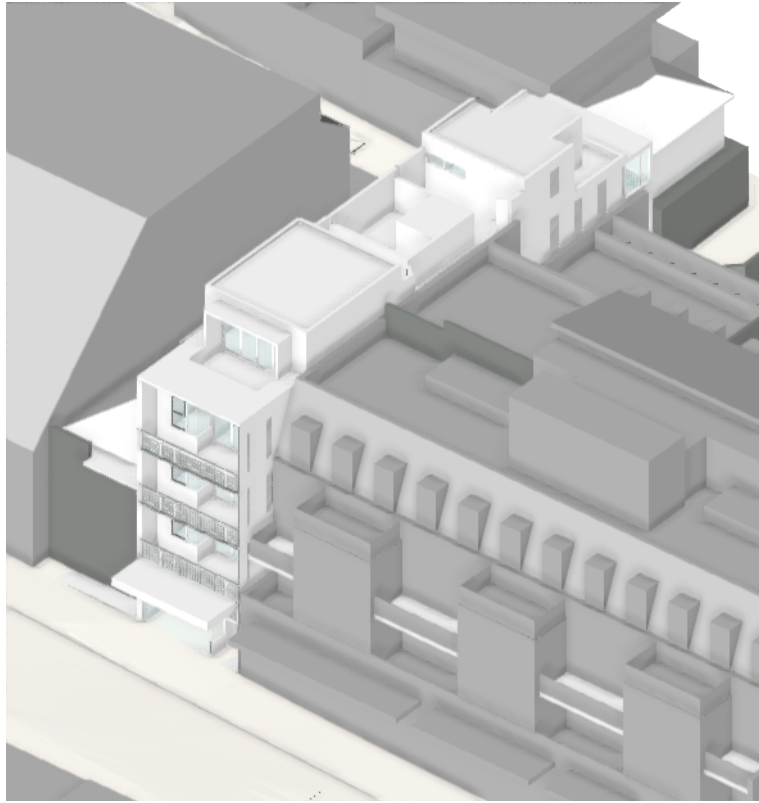


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Outline of revised proposal shown, approximate



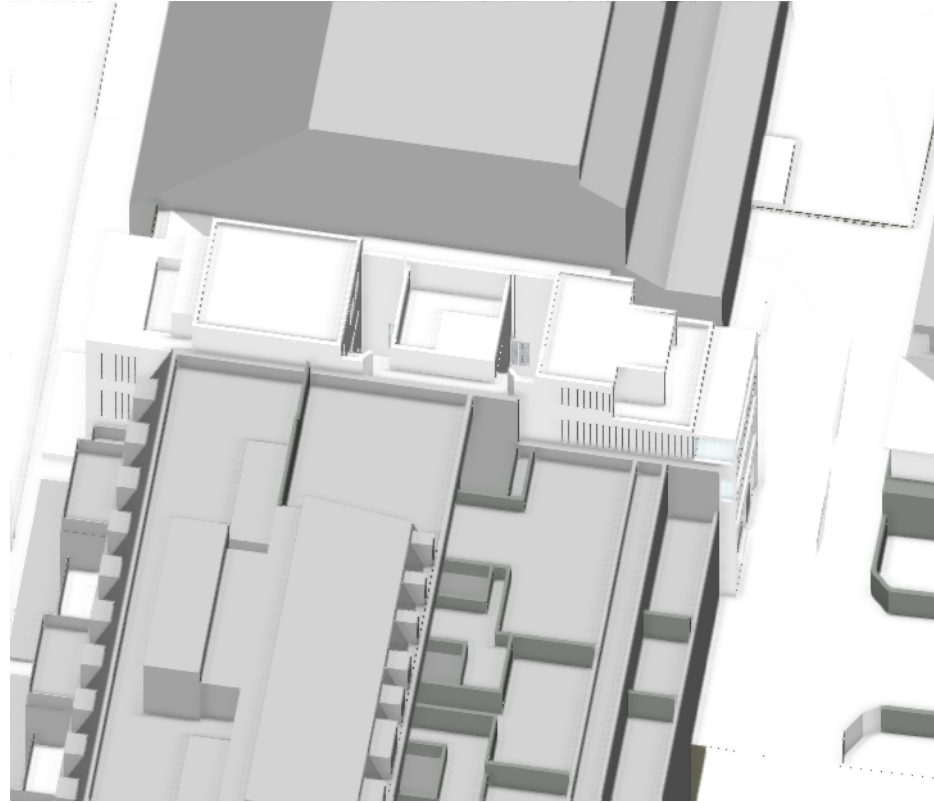
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills, NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalis #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>		REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>CLD CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEELFRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT		DRAWING TITLE			
		A	2/9/20	DA SUBMISSION		Bay Street		Photomontage			
		F	19/4/22	Joint Report		14 Bay St, Double Bay		JOB NO	DRAWN		
		G	29/4/22	Revised terrace to Bay Street		Halepa Holdings		19.53	MR		
										SCALE	DRAWING NO.
										NTS	DA 4.01
										DATE	REVISION
										Sept 2020	G

9AM

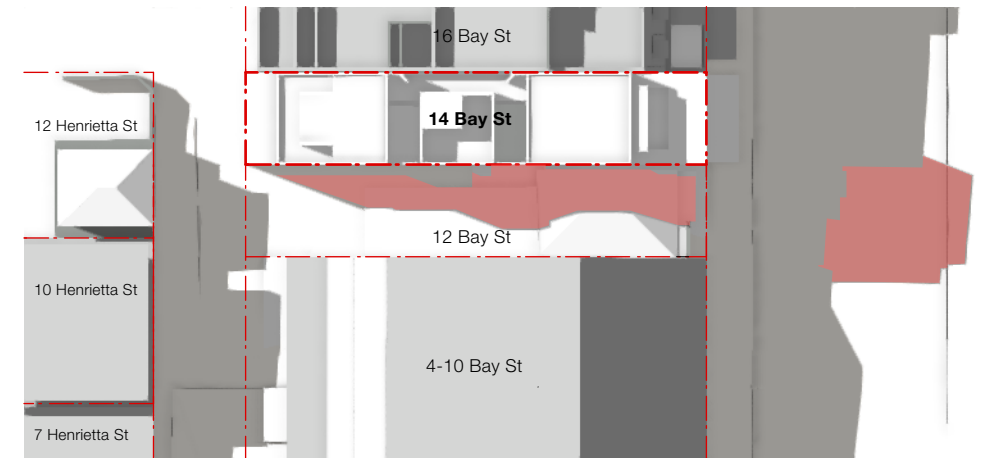
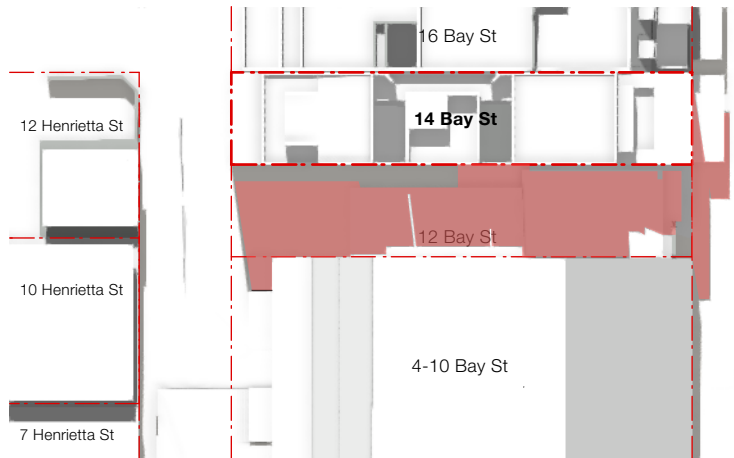
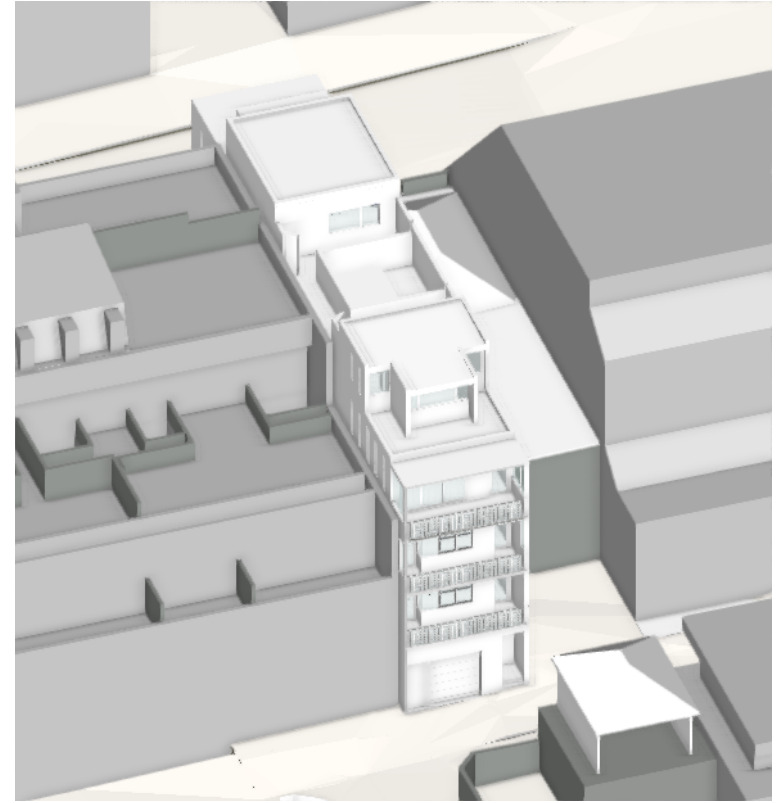


view from sun
axonometric

12PM



3PM

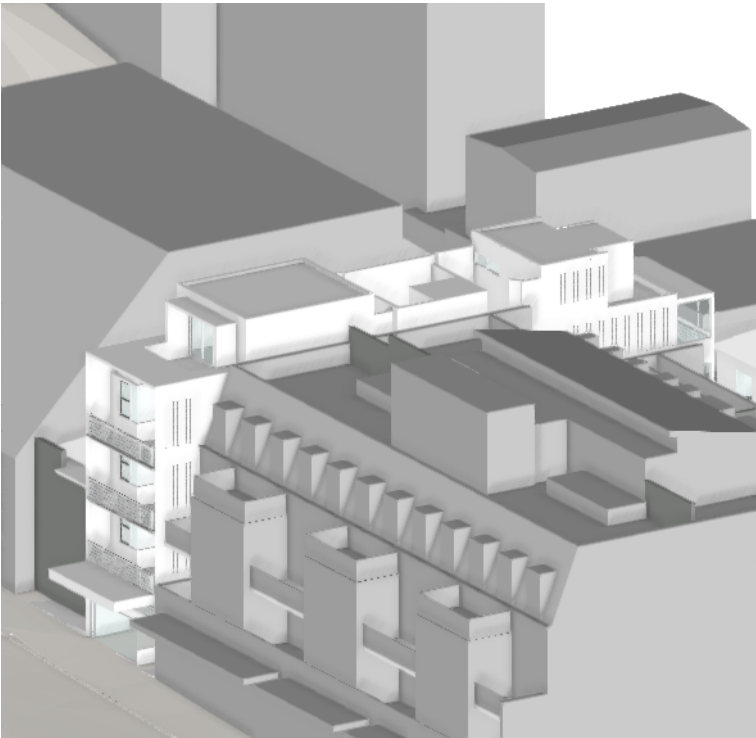


shadows in plan
existing (grey) + new (red)

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>L1 LEVEL 4, 46-72 Wentworth Ave Surry Hills NSW 2010 Australia T 02 9211 6276 F 02 9281 3171 E admin@hthalis.com.au www.hthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah Hill #51285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>	<div>– Ufig used dimensions only</div> <div>– Do not scale</div> <div>– Comply with the Building Code of Australia</div> <div>– Comply with the relevant Australian Standards</div> <div>– Comply with relevant Authorities' requirements</div>	REV	DATE	AMENDMENT	<div><div><div><div>ABS</div><div>Building Surveyors</div><div>0005233910 29 Apr 2022</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address</div><div>14 Bay Street, Double Bay, NSW 2028</div><div>hstar.com.au</div></div><div><div>5.3</div><div>Average star rating</div><div>NATIONWIDE HOUSE</div><div>www.cslhars.gov.au</div></div></div><div><div>0005233910 29 Apr 2022</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address</div><div>14 Bay Street, Double Bay, NSW 2028</div><div>hstar.com.au</div></div></div>	PROJECT	DRAWING TITLE			
		A	2/9/20	DA SUBMISSION		PROJECT	DRAWING NO.			
		B	29/4/21	REVISED DA SUBMISSION		Bay Street	15.53			DA 5.01
		G	28/4/22	Joint Report with Revised Terrace to Bay Street		14 Bay St, Double Bay	CLIENT	CHECKED	PLOT DATE	REVISION
						Halepa Holdings			28/4/22	G

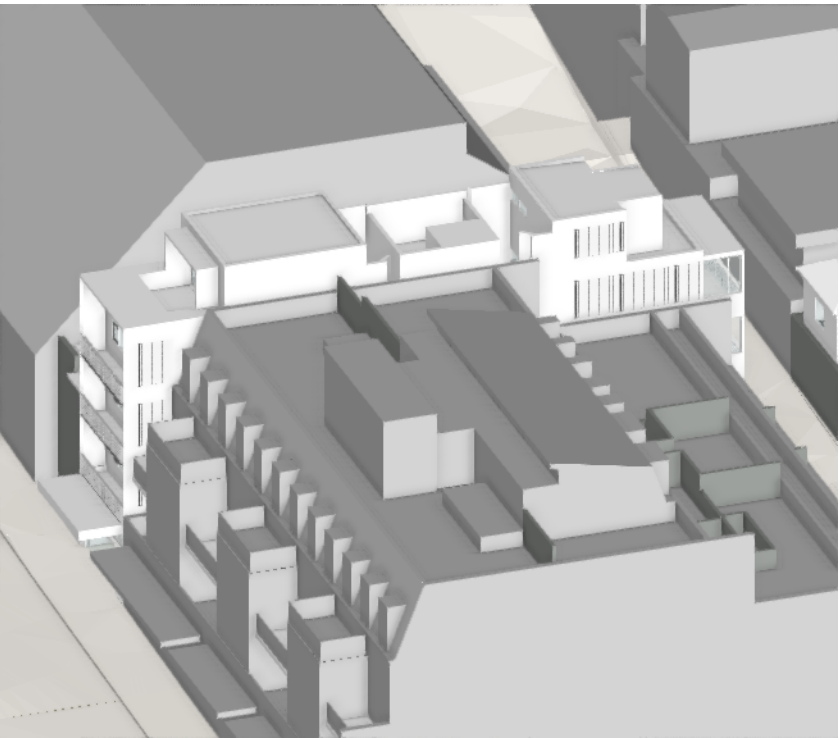
JUNE 21

9AM

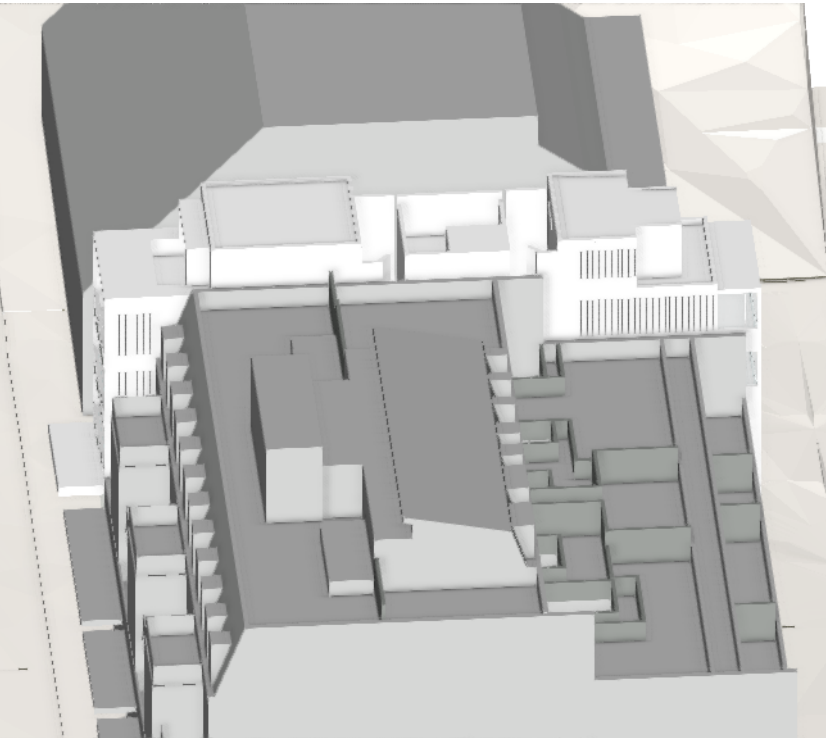


view from sun
axonometric

10AM



11AM



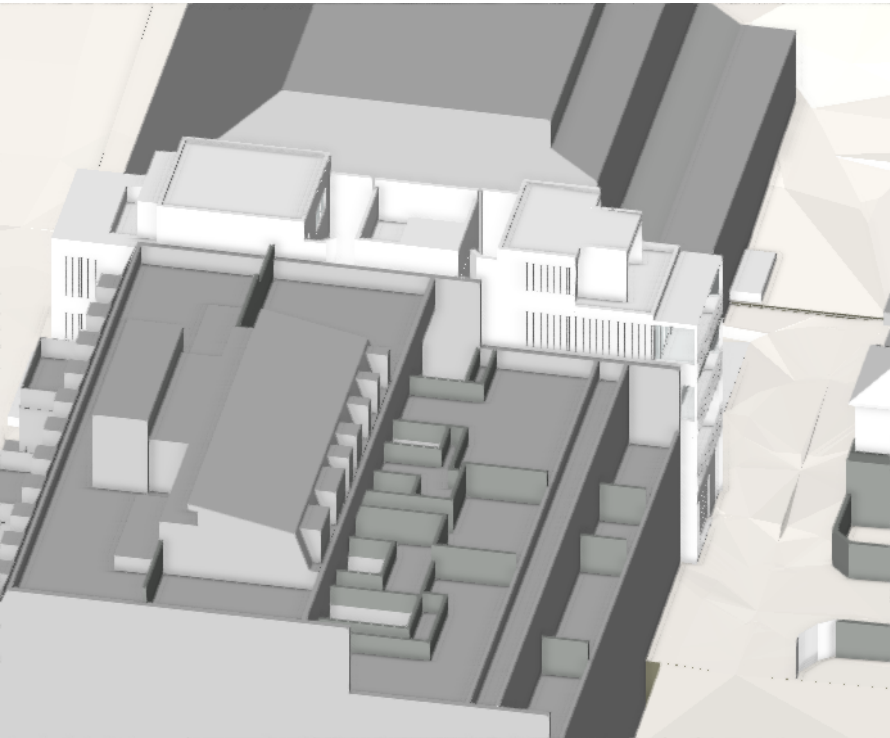
shadows in plan
existing (grey) + new (red)



<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	<div>Use figured dimensions only</div> <div>Do not scale</div> <div>Comply with the Building Code of Australia</div> <div>Comply with the relevant Australian Standards</div> <div>Comply with relevant Authorities' requirements</div>	REV	DATE	AMENDMENT	<div><div>ABSAAustralia Building Standards Australia</div><div>Assessment completed within the accreditation period as part of the ABSA quality seal scheme</div><div>Accreditation Period: 31/03/2022-31/03/2023</div><div>Assessor Name: Patricia Healy</div><div>Assessment Number: 101026</div><div>Assessment Signatory: Patricia Healy</div><div>The Australian Government</div><div>Department of Infrastructure, Transport, Regional Development and Postal Services</div><div>Commonwealth of Australia</div></div> <div><div>5.3Average star rating</div><div>NATIONWIDHOUSE</div><div>NSW 2028</div><div>0005233910 29 Apr 2022</div><div>Assessor: Patricia Healy</div><div>Accreditation No.: 101026</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div>hstar.com.au</div></div>	PROJECT		DRAWING TITLE			
		A	24/9/21	For Information		Bay Street		Hourly June 21 Shadows (Sheet 1)			
		B	17/1/22	Revised model to 10 Henrietta st		14 Bay St, Double Bay		JOB NO	DRAWN	SCALE	DRAWING NO.
		F	19/4/22	Joint Report		Double Bay		19.53		1:500@A3	DA 5.02
		G	28/4/22	Revised Terrace to Bay Street				DATE	CHECKED	PLOT DATE	REVISION
					CLIENT		G				
					Halepa Holdings						

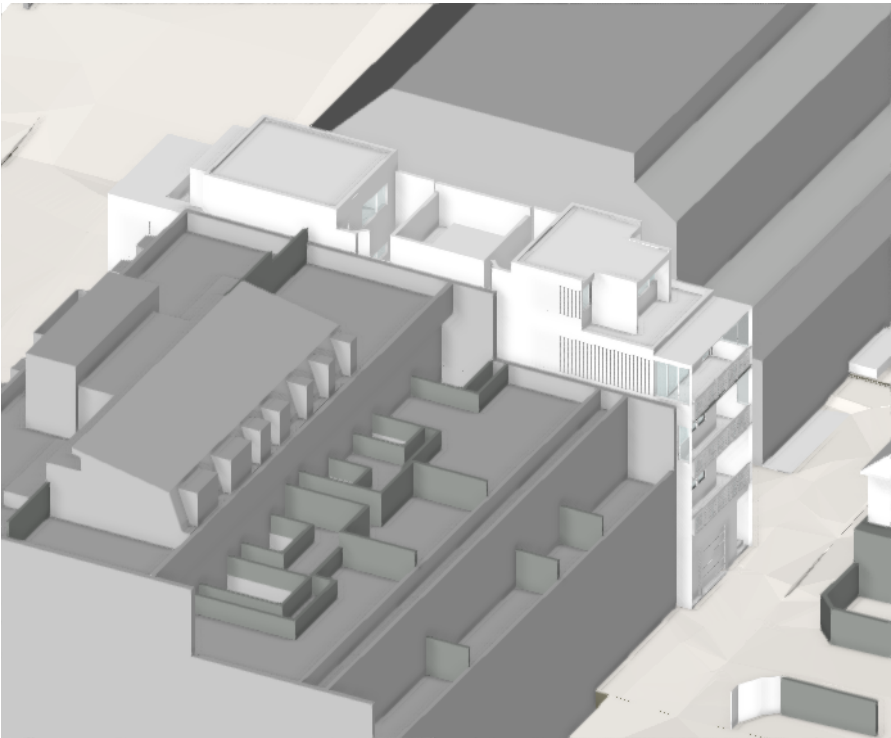
JUNE 21

12PM

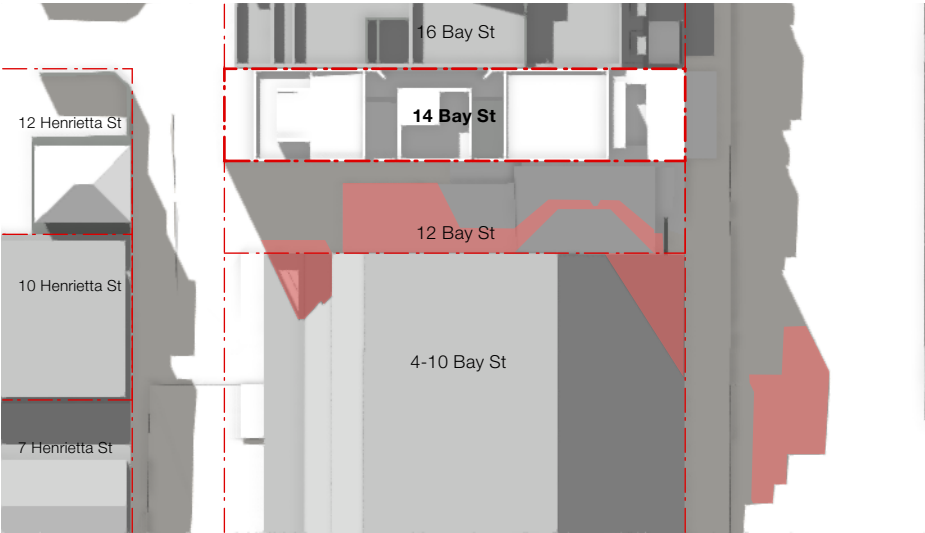


view from sun
axonometric

1PM

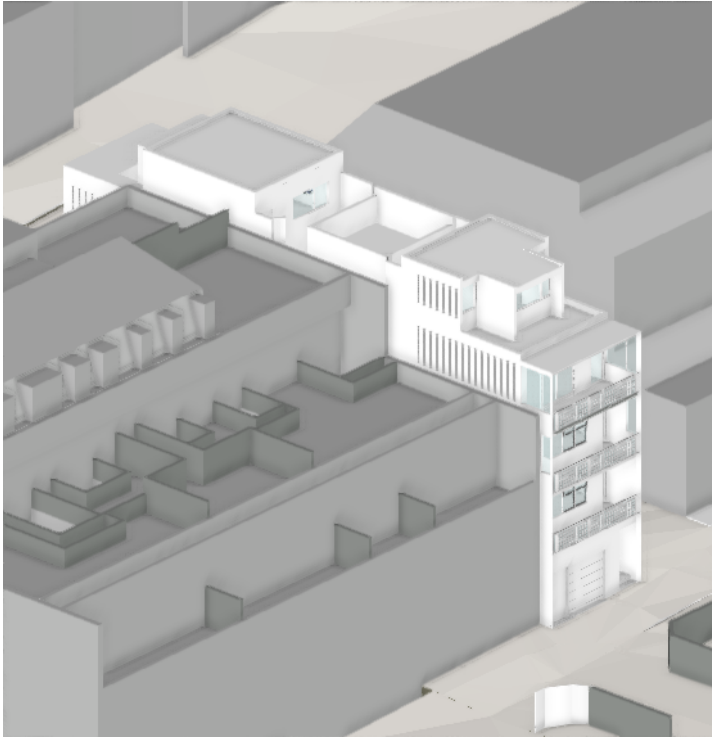


shadows in plan
existing (grey) + new (red)

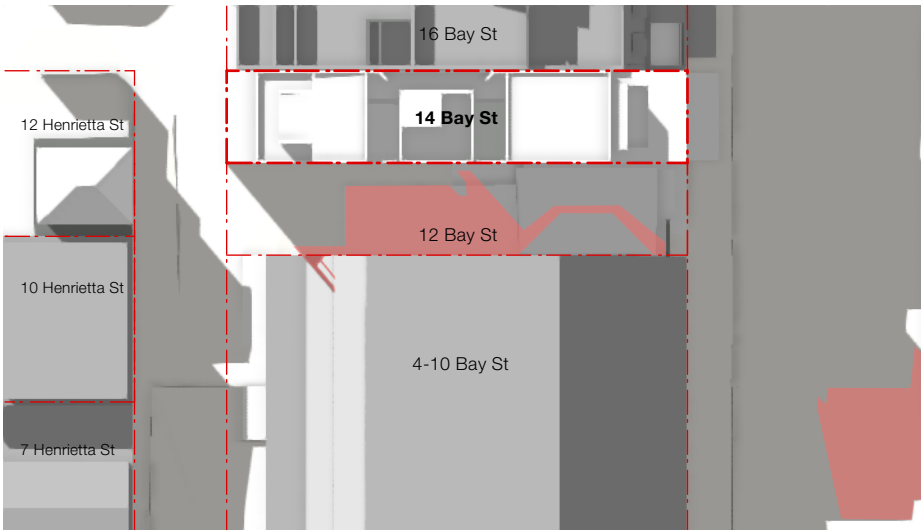


<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 62 9211 6276 F 62 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV	DATE	AMENDMENT	<div><div>ABSA</div><div>Accreditation Period: 31/03/2022-31/03/2023</div><div>Assessor Name: PDSraig Healy</div><div>Assessment Number: 101025</div><div>Assessment Signature: PDSraig Healy</div></div> <div><div>5.3</div><div>Average star rating</div><div>NATIONWIDE HOUSE</div><div>0005233910 29 Apr 2022</div><div>Assessor: PDSraig Healy</div><div>Accreditation No. 101025</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div>hstar.com.au</div></div>	PROJECT		DRAWING TITLE		
		A	24/9/21	For Information		Bay Street		Hourly June 21 Shadows (Sheet 2)		
		B	17/1/22	Revised model to 10 Henrietta st		14 Bay St, Double Bay		JOB NO	DRAWN	
		F	19/4/22	Joint Report				19.53		
		G	28/4/22	Revised Terrace to Bay Street			CLIENT	Halepa Holdings	SCALE	DRAWING NO.
									1:500@A3	DA 5.03
									DATE	REVISION
								28/4/22	G	

2PM



view from sun
axonometric



shadows in plan
existing (grey) + new (red)



ARCHITECTS:		REV	DATE	AMENDMENT	 	PROJECT Bay Street 14 Bay St, Double Bay	DRAWING TITLE Hourly June 21 Shadows (Sheet 3)			
hill thalis ARCHITECTURE + URBAN PROJECTS PTY LEVEL 4, 69-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah Hill #51285	A	24/9/21	For Information	0005233910 29 Apr 2022 Assessor: Radraig Healy Accreditation No. 101026 Address 14 Bay Street, Double Bay NSW, 2028			JOB NO	DRAWN	SCALE	DRAWING NO.
	B	17/1/12	Revised model to 10 Henrietta st				19.53		1:500@A3	DA 5.04
	F	19/4/22	Joint Report				DATE	CHECKED	PLOT DATE	REVISION
G	28/4/22	Revised Terrace to Bay Street				CLIENT Halepa Holdings		28/4/22	G	



Existing View



View with Outline of Approved DA (2-10 Bay Street)



View with Outline of Proposed DA (14 Bay Street) and Approved DA (2-10 Bay Street)

Issue G - Revised terrace to Bay Street
View SE from Eastern Terrace

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68-72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div> <div><div>Use figured dimensions only</div><div>Do not scale</div><div>Comply with the Building Code of Australia</div><div>Comply with the relevant Australian Standards</div><div>Comply with relevant Authorities' requirements</div></div>		REV	DATE	AMENDMENT	<div><div>ABSAAustralian Building Standards Australia</div><div>Accreditation Number: 31 036 0252-31 036 0253</div><div>Assessor Name: Padraig Healy</div><div>Assessment Number: 101026</div><div>Assessment Signature: Padraig Healy</div></div> <div><div>5.3Average star rating</div><div>NATIONWIDHOUSE</div><div>0005233910 29 Apr 2022</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address</div><div>14 Bay Street, Double Bay</div><div>NSW, 2028</div><div>hstar.com.au</div></div>	PROJECT		DRAWING TITLE			
		F	19/4/22	Joint Report		Bay Street		View Analysis 1 - Unit 4.1 Terrace East			
		G	28/4/22	Revised terrace to Bay Street		14 Bay St, Double Bay		JOB NO	DRAWN		
						CLIENT		SCALE	DRAWING NO.		
								Halepa Holdings		NTS	DA 6.00
										DATE	REVISION
										CHECKED	
										PLOT DATE	
										28/4/22	G



Existing View



View with Outline of Proposed DA (14 Bay Street) and Approved DA (21-27 Bay Street)

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		F	19/4/22	Joint Report		Bay Street	View Analysis 2 - Unit 4.1 Terrace East					
		G	28/4/22	Revised terrace to Bay Street		14 Bay St, Double Bay	JOB NO	DRAWN	SCALE	DRAWING NO.		
							19.53		NTS	DA 6.01		
								CLIENT	DATE	CHECKED	PLOT DATE	REVISION
								Halepa Holdings			28/4/22	G